



Dare County Planning Board Meeting

**Dare County Board of Commissioners Meeting Room
954 Marshall C. Collins Drive
Manteo, NC 27954**

February 6, 2024

- I. Call to order 6:00PM
- II. Roll call
John Finelli, Chairman
Beth Midgett Buddy Shelton
David Overton David Hines
Terry Gore II John DeBoy
- III. Approval of minutes for the January 2, 2024 Planning Board meeting
- IV. Public Comment
- V. Old Business
- VI. New Business
 - Amendment to SUP 6-2020 Outer Banks Dare Challenge - Residential Dormitory; Wanchese Parcel #016520005
 - Preliminary Plat Review - Burnside Estates - Phase 3; 7 Lot Major Subdivision, Parcel #024655000
 - Preliminary Plat Review - Edgescamp Estates Subdivision, Lots 1-9, Salvo
- VII. Other Business
- VIII. Adjournment

MINUTES OF THE DARE COUNTY PLANNING BOARD MEETING

The Dare County Planning Board held their regularly scheduled meeting on Tuesday, January 2, 2024. This meeting was held in the Dare County Board of Commissioners meeting room located at the Dare County Administrative Building, 954 Marshall C. Collins Drive, Manteo, NC.

CALL TO ORDER 6:00 pm

MEMBERS PRESENT John Finelli, Chairman John DeBoy
Beth Midgett Buddy Shelton
David Hines Terry Gore II

MEMBERS ABSENT David Overton

APPROVAL OF MINUTES

There being no corrections or additions to the minutes of the December 5, 2023 meeting of the Dare County Planning Board, Terry Gore and Buddy Shelton made a motion to approve the minutes as submitted. Beth Midgett seconded this motion.

Vote: Ayes – Unanimous

PUBLIC COMMENT

Chairman Finelli outlined the procedure for making Public Comments. There were no public comments made at this meeting.

Public Comment Closed at 6:01p.m.

OLD BUSINESS

-None-

NEW BUSINESS

Zoning Map Amendment Application to rezone 40177 Westerly Lane and 40974 NC 12 Hwy., Avon from R-2A to C-2. Applicant: Dale Petty / John Hooper

Mr. Gillam, Planning Director began by stating that a Zoning Map Amendment application was submitted by Dale Petty of Surf or Sound Realty and detailed that Mr. Petty is seeking to rezone a portion of his property, together with an adjoining property owned by John Robert Hooper, which Mr. Petty has under contract to purchase. The applicant currently owns 40974 NC 12 HWY, which has dual zoning designation; with the front third portion of the property adjacent to NC 12 being zoned C-2 Commercial and the rear two-thirds being zoned R2-A. The parcel under contract to purchase is directly adjacent to the west and is zoned R2-A. Mr. Gillam went on to state that Mr. Petty is seeking to have the properties rezoned to an entire designation of C-2

Commercial. Mr. Gillam explained that Mr. Petty's intentions in seeking this rezoning is to build a storage warehouse that will offer storage for the real estate business and the residential properties that are in his rental program through Surf or Sound, similar to the one he currently operates in the tri-village areas. A map was provided highlighting the current zoning designations of the surrounding areas, as well as some of the surrounding uses. Mr. Gillam informed the Board the properties surrounding the properties seeking the rezoning are R2-A, C-2 Commercial and C-3 Commercial. The properties to the north are zoned R2-A and are developed with residential dwellings. The properties to the east along NC 12 Hwy are zoned C-3 Commercial and include a restaurant, fishing pier and beach club. The properties to the west are separated by a canal and are zoned R2-A and developed with residential. The properties to the south are zoned C-2 commercial and R2-A and have a mix of residential dwellings and commercial uses including retail, wastewater treatment plant and commercial storage warehouses. Mr. Gillam mentioned in a review of the Avon zoning map there are corridors of C-2 Commercial that run from NC 12 Hwy westward to the canal. These corridors of commercial all separate and intersect primarily in areas zoned R2-A. Additionally, the zoning map and historic uses in the area, the reclassification to C-2 Commercial for the applicant's parcels would not disrupt the flow of the surrounding neighborhood and would result in a contiguous area of properties zoned commercial. It is staff's recommendation that the reclassification to C-2 is appropriate, although, it should also be noted the R2-A does afford some commercial uses that are commercial in nature including fish houses, real estate offices, and campgrounds. Mr. Gillam confirmed that the adjoining property owners have been notified and no negative feedback has been received. He also reminded the Board that if the applicant's amendment application is approved, his proposed use of the property would be subject to special use permit review, which would afford the Board the opportunity to address site specifics and address concerns, if any, from the neighborhood. Mr. Gillam found this consistent with the Land Use Compatibility Policy #5 and #6, which were provided in the meeting packet.

Danny Register, VP of Business Development and Morgan Veyna, VP of Operations, both of Surf or Sound Realty and of Avon were present as representatives of the applicant. They were both satisfied and agreed with Mr. Gillam's summary and had nothing more to add.

Chairman Finelli asked if the Board had any questions for the staff or applicant. Terry Gore spoke up stating he believed this to be reasonable and that it seemed congruent with the nature of the area.

Terry Gore made a motion to advance this to the Dare County Commissioners with a positive recommendation and a finding of consistency with the 2009 Land Use Plan. Seconded by Buddy Shelton.

Vote: Ayes – Unanimous

OTHER BUSINESS

Chairman John Finelli’s term will expire in February 2024 and as previously mentioned, he is not seeking reappointment. Buddy Shelton, David Hines, Terry Gore and Beth Midgett spoke many kind words to Chairman Finelli on his hard work, integrity, service and dedication.

ADJOURNMENT

There being no further business before the Dare County Planning Board, a motion to adjourn was made by Buddy Shelton and seconded by David Hines.

Vote: Ayes – Unanimous

The meeting adjourned at 6:13p.m.

Respectfully Submitted,

Gerri Ellington
Planning Board Clerk

APPROVED: February 6, 2024

John Finelli
Chairman, Dare County Planning Board

January 9, 2024

MEMORANDUM

TO: Dare County Planning Board

FROM: Noah H Gillam, Planning Director

RE: Amendment to SUP 6-2020 Dare Challenge Group Development

A special use permit application has been submitted by Dare Challenge to amend their special use permit #6-2020 issued on January 4, 2021. The special use permit authorized the development of a residential recovery and treatment center group development consisting of five structures, one of which is existing. The amendment has been submitted to address changes that occurred during the architectural design of the structures resulting in an increase of square footage to the two proposed dormitories, and an increase in square footage/change in the footprint of the proposed staff house and multipurpose building.

Condition 9 of the special use permit requires that any increase in lot coverage or square footage of structures be reviewed by the Planning Board and approved by the Board of Commissioners. During the original review of the special use permit and site plan the proposed dormitory buildings were proposed as one story structures, the dorms are now proposed as two story structures that will allow residents of the facility more space, and will resemble the existing dormitory on the site. The heated square footage of the proposed dorm structures will increase from 1,768 square feet to 3,536 square feet in each structure. The proposed dormitories will still have an occupancy of 16 people in each structure.

The square footage of the proposed staff house structure has an increased from 1,768 square feet to 1,904 square feet. The occupancy of the building will still remain at 16 occupants. The proposed multipurpose building has a reduction of square footage from 9,920 square feet to 8,400 square feet. The overall site has had an increase of lot coverage from 54,188 square feet(34.5%) to 55,718 square feet (35.5%). The increase in lot coverage is still in compliance with the lot coverage requirements of the Highway 345 zoning district for commercial uses.

The changes to the site plan will not affect the North Carolina issued permits including the stormwater management permit and sedimentation and erosion control.

Attached to this memo is a draft amendment to SUP #6-2020 for the boards review. All changes to the site plan have been addressed in condition #1 and all other conditions of the original SUP will remain in effect.

AMENDMENT TO SUP 6-2020 for
Outer Banks Dare Challenge
March 04, 2024

SPECIAL USE: a residential recovery and treatment center group development consisting of five structures as depicted on the site plan which is included as part of this special use permit amendment. One of the structures is an existing structure that will be incorporated into the group development and the remaining four structures shall be constructed.

Conditions:

1. The four new structures and site improvements shall be constructed as depicted on the site plan. The structures will include a multipurpose facility consisting of 8,400 square feet, two 2-story dormitory structures featuring 3,536 square feet of conditioned space in each structure with an occupancy of sixteen people in each structure, and one residential staff house consisting of 1,904 square feet with an occupancy of sixteen people. A total of twenty-seven parking spaces shall be provided and improved with gravel. Two driveway entrances from Highway 345 shall be provided, one of which currently serves as access to the site.
2. Building permits for the structures shall be secured within 60 months from date of Board of Commissioners approval. The site improvements shall be constructed according to the North Carolina fire codes. An as-built survey for the property shall be submitted to the Planning Department upon completion of all of the structures to confirm compliance with the terms of the Dare County Zoning Ordinance. Individual certificate of occupancy for each structure may be issued as appropriate if the structures are constructed at varying times.
3. All other conditions of Special Use Permit 6-2020 issued on January 4, 2021 shall remain in effect.
4. A violation of this Permit shall be a violation of the Code and the special use may be revoked by the Board of Commissioners. Special use approval shall be revoked for any substantial departure from the approved application, plans, or specification; for refusal or failure to comply with the requirements of any development regulation or any State law delegated to Dare County for enforcement purposes; or for false statements of misrepresentations made in securing special use approval. The same process for approval of a special use permit, including notice and hearing, shall be followed in the revocation of a special use permit.
5. All other terms and provisions of the Dare County Zoning Ordinance shall remain in full force and effect except as herein specifically permitted otherwise

This 04th day of March 2024

SEAL:

COUNTY OF DARE

By: _____
Robert L Woodard Sr.
Dare County Board of Commissioners

ATTEST:

By: _____
Skyler Foley
Clerk to the Board

THIS PERMIT AND THE CONDITIONS HERE IN ARE ACCEPTED

By: _____
Doug Henriott
Outer Banks Dare Challenge

APPROVED AS TO LEGAL FORM

By: _____
Robert L. Outten
County Attorney

Project Narrative

Outer Banks Dare Challenge

Conditional Use Permit Modification

Dare County

Revised January 16, 2024

Modifications from Original CUP

This project was originally granted a Conditional Use Permit in January of 2021. Throughout the design & permitting process, small adjustments to the original plan have been made, with the final adjustments being the adaptation of the Site Plan to the actual Building Plans. The cumulative changes have been significant enough that a Modification to the Conditional Use Permit is being requested to adjust the approved plan to match the design changes. A summary of the changes to the Site Plan follows:

<u>Footprints</u>	<u>Original CUP</u>	<u>Construction Plans</u>
Staff House	1,768 sf	1,904 sf
Dorm 1	1,768 sf	1,768 sf
Dorm 2	1,768 sf	1,768 sf
Multipurpose Bldg	9,920 sf	8,400 sf
Total Bldg Footprints:	15,224 sf	13,840 sf
Parking	38 spaces	38 spaces
ADA Parking	4 spaces	4 spaces
Lot Coverage	54,188 sf	54,718 sf (up to 94,123 sf allowed by ordinance)
Dorm 1 & Dorm 2	single story	two story
Staff House	slab foundation	pile foundation

Items which stay basically the same: General Site Layout, Parking, Traffic Circulation, ADA Accessible routes, Traffic Circulation, Fire Lanes/Circulation, Proposed Fire Hydrant location, Sidewalk Circulation, Solid Waste (Dumpster), Wastewater Configuration, and Stormwater Configuration.

Below, please find a copy of the original “CUP Narrative”, modified to reflect the changes outlined above.

General

The Outer Banks Dare Challenge proposes to expand their existing facility at 2263 NC Hwy 345 in Wanchese onto recently acquired adjoining land. The project proposes the construction of four new buildings along with associated parking, access, stormwater, wastewater, and utilities infrastructure. The existing building is proposed to remain and continue its use along with the installation of the new facilities.

The project is located within the HWY 345 Zoning District. The existing use (Residential Recovery and Treatment Center) is authorized as a Permitted Use in Section 22-27.16(b)(18) of the Dare County Zoning Ordinance. That section of the ordinance also specifies that “If more than one structure on parcel, it will be considered a group development subject to conditional use permit review”. Therefore, a Conditional Use Permit is being requested to allow the installation of the four new structures on the site in addition to the existing building.

Existing Conditions

In early 2020, a land swap with the State of North Carolina allowed a portion of the land on the north side of the original Dare Challenge Parcel to be recombined with the Dare Challenge Parcel resulting in the 3.6 acre parcel which is the subject of this application. The subject parcel contains the existing Dare Challenge facility (3,604 sf building, gravel parking, outbuilding and dumpster pad) in its southern quadrant while the rest of the parcel remains undeveloped.

Proposed Conditions:

The existing facility is to remain unchanged with the exception of the relocation of the dumpster to a site within the expansion.

This project proposes to install four new buildings on the expanded parcel to better serve the needs of the Outer Banks Dare Challenge. These buildings will include a large multipurpose building placed centrally on the site with two residential dorm buildings and a staff house located towards the rear of the site. The specifics on these planned buildings are as follows:

Multipurpose Building:

- 8,400 sf single story metal building on slab foundation
- Will contain a kitchen, offices, classroom, chapel, computer room, and large open room for activities.
- Will serve only the residents and employees of the facility.

Residential Dorms (2):

- 1,768 sf footprint, two story buildings
- Will contain residential facilities

Staff House:

- 1,904 sf single story residence on pile foundation
- Will contain residential facilities

Finish Floor Elevation for the proposed buildings is set at a minimum of 8.2' in order to comply with Dare County's Regulatory Flood Elevation of 8'. To meet this requirement, the building pads will be filled 3'-4' and parking and drive aisles will be elevated accordingly. The finish floor of the Staff House on Piles will be 14.0'.

Parking is provided to serve the residents and no outside use is proposed. Parking and drive aisles will be paved in gravel, with concrete parking and accessways for ADA routes. Fire access is provided all of the way around the multipurpose building.

The existing freestanding sign will remain unchanged. Any future changes or replacement of the sign will be processed through the Dare County Planning Sign Permit process.

No freestanding / parking lot lighting is proposed. Building mounted Safety Lighting will be installed with the construction of the buildings. If parking lot lighting is proposed in the future, a lighting plan will be processed with Dare County Planning.

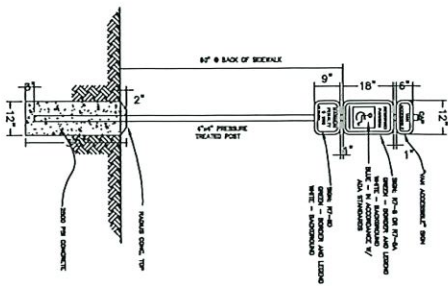
Wastewater will be provided via on-site septic systems permitted through the Dare County Health Department.

Domestic water service will be provided via the Dare County Water system and a tap into the Dare County Water Main located in the Highway 345 right-of-way. A new Hydrant is proposed to be installed on the north side of the northern entrance to the site.

Stormwater Management will be provided via a proposed wet pond located to the rear of the site. An NCDEQ Stormwater Permit will be required for this project.

Consistency with Zone and Neighbors:

The Highway 345 Zoning District consists of a mixture of residential and commercial uses. This application requests an expansion of an existing use rather than a new use, and the history of the Dare Challenge facility within the district is testament to the harmony of this use in this location. Neighbors consist of State owned land (vacant) to the north and east, a boat storage yard to the south, and a sand mining facility on the other side of Highway 345 to the west. The expansion of this facility should have no adverse impact on the neighboring properties.



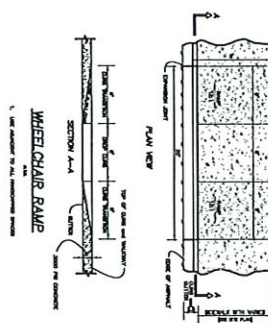
AIA RESERVED PARKING SIGN DETAIL
A1/A



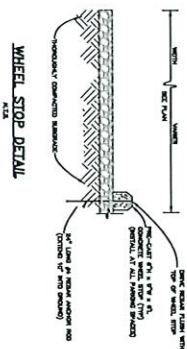
GRAVEL PARKING X-SEC
SEE SECTION SUPPORT SIGN FOR THICKNESS, REINFORCEMENT, PREPARATION, AND CONCRETE STRENGTH REQUIREMENTS.



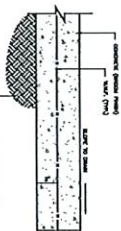
HEAVY DUTY CONCRETE PAVEMENT SECTION
SEE SECTION SUPPORT SIGN FOR THICKNESS, REINFORCEMENT, PREPARATION, AND CONCRETE STRENGTH REQUIREMENTS.



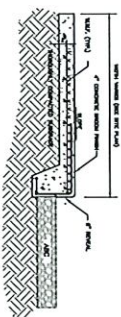
WHEELCHAIR RAMP
1. SEE SECTION FOR ALL DIMENSIONS PER PLAN.



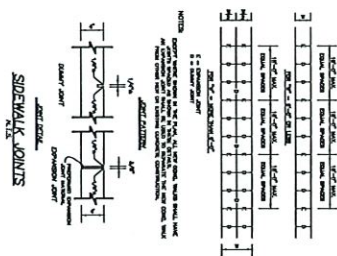
WHEEL STOP DETAIL
A1/A



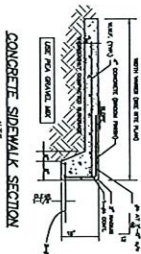
CONCRETE PAVEMENT SECTION
SEE SECTION SUPPORT SIGN FOR THICKNESS, REINFORCEMENT, PREPARATION, AND CONCRETE STRENGTH REQUIREMENTS.



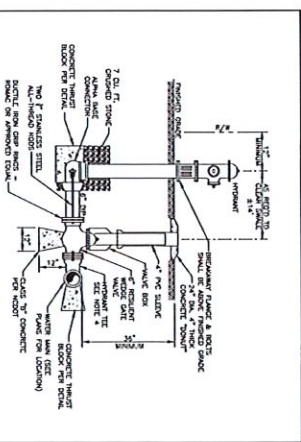
RAISED CURB SIDEWALK ASPHALT SECTION
A1/A



SIDEWALK JOINTS
A1/A



CONCRETE SIDEWALK SECTION
A1/A



NOTES

1. DO NOT BLOCK HYDRANT SIGNAL WITH THIRDS BUILDING.
2. DO NOT SUPPORT VALVE BOX DIRECTLY ON VALVE.
3. INSTALL REFLECTIVE HYDRANT SIGNALS, EMERGENCY LIGHTS, SIGN, AND BATTERY OPERATED FLASHER (24V/7.5AH) PER MANUFACTURER'S SPECIFICATIONS.
4. HYDRANT THE LAMP BE USED UNLESS IT IS PLACED IN A LOCATION THAT IS NOT VISIBLE TO THE HYDRANT VALVE. THE VALVE SHOULD BE VISIBLY MARKED WITH A RED PAINT OR RED STRIPES. THE VALVE SHOULD BE ESTABLISHED TO THE RED PAINT OR RED STRIPES. THE VALVE SHOULD BE ESTABLISHED TO THE RED PAINT OR RED STRIPES.
5. HYDRANT MUST BE OPERATED BY CONDUCTOR AFTER INSTALLATION. MAINTAIN WITH INSULATION.
6. HYDRANT MUST BE OPERATED BY CONDUCTOR AFTER INSTALLATION. MAINTAIN WITH INSULATION.

FIRE HYDRANT ASSEMBLY
VERTICAL
SHEET NUMBER
8

C4
OF 8 SHEETS

SITE DETAILS
OUTER BANKS DARE CHALLENGE
PID: 016520005 PIN: 979800352441
WANCHESE DARE COUNTY NORTH CAROLINA

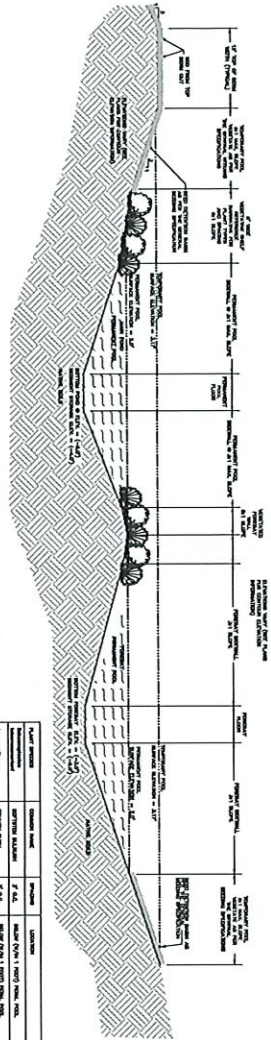


NO.	DATE	REVISIONS
1	5/26/2021	ISSUED FOR PERMITTING
2	8/14/2021	ADDED FIRE HYDRANT DETAIL
3	3/4/2023	RELEASED FOR CONSTRUCTION

DEEL ENGINEERING, PLLC
CIVIL ENGINEERING SERVICES
FIRM LICENSE #10148
P.O. BOX 301
161 DEER HOLE RD SW
WAYNE, NC 27883
Phone: (919) 853-8833 Fax: (919) 853-8834

DEEL ENGINEERING, PLLC
CIVIL ENGINEERING SERVICES
FIRM LICENSE #10148
P.O. BOX 301
161 DEER HOLE RD SW
WAYNE, NC 27883
Phone: (919) 853-8833 Fax: (919) 853-8834

TYPICAL WET DETENTION BASIN PLANTING DETAIL

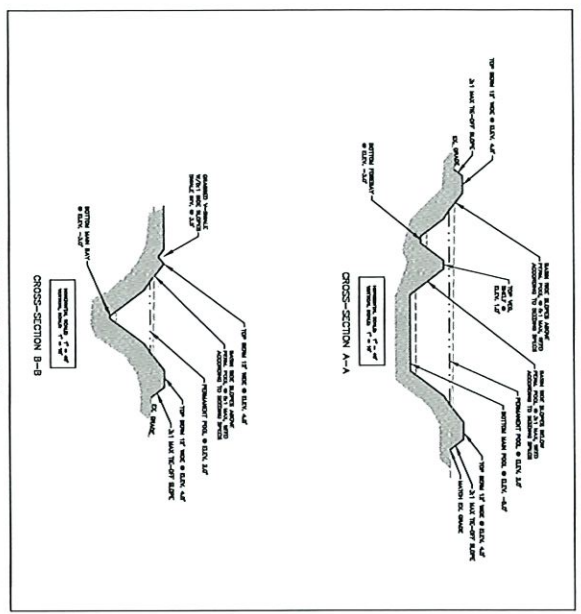


NO.	DESCRIPTION	THICKNESS	NOTES
1	GRAVEL	1.0'	MIN. GRAVEL
2	SAND	1.0'	MIN. SAND
3	1/2\"/>		

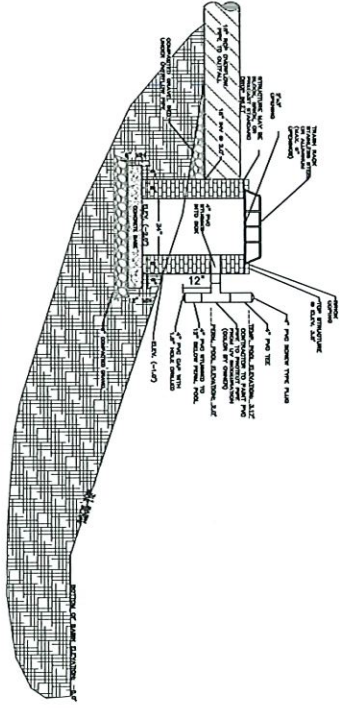
TYPICAL SWALE



WET POND CROSS-SECTIONS



OVERFLOW STRUCTURE DETAIL



C5
 OF 8 SHEETS

STORMWATER DETAILS
OUTER BANKS DARE CHALLENGE
 PID: 016520005 PIN: 979800352441



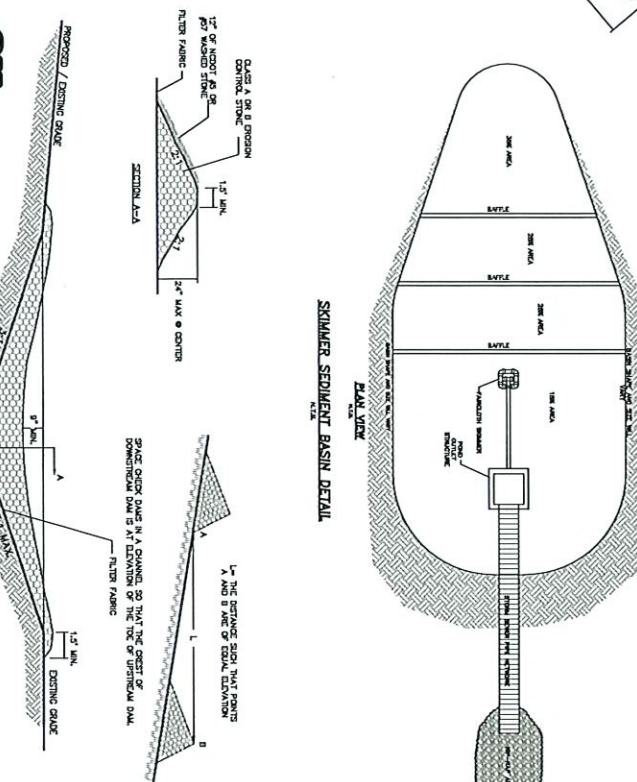
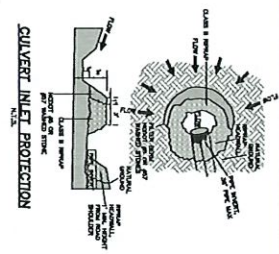
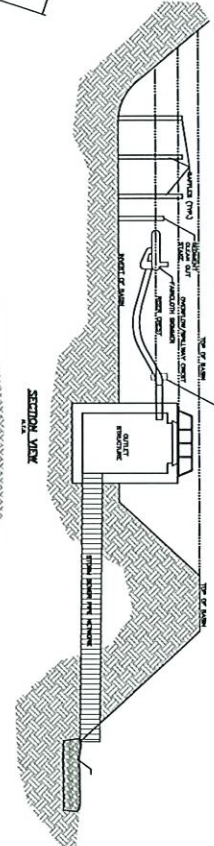
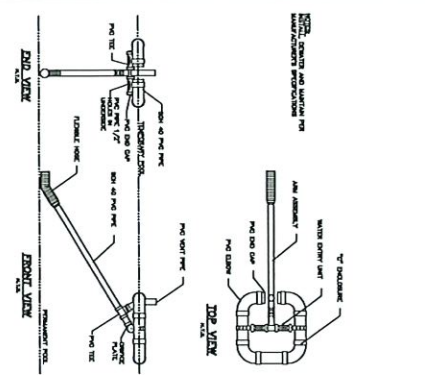
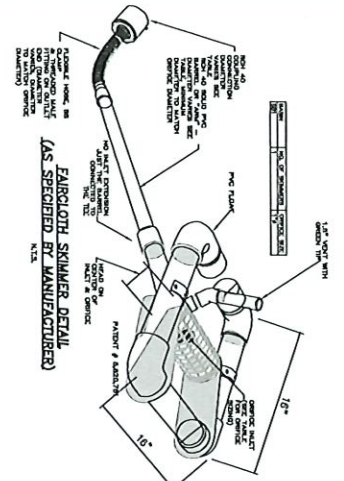
NO.	DATE	REVISIONS
1	4/29/2022	ISSUED FOR PERMITTING
2	2/9/2023	REVISED OVERFLOW STRUCTURE DETAIL
3	3/9/2023	RELEASED FOR CONSTRUCTION

REGISTERED PROFESSIONAL ENGINEER
 DEEL ENGINEERING, PLLC
 1111 W. STATE ST. SUITE 200
 RALEIGH, NC 27601
 TEL: 919.876.1234
 FAX: 919.876.1235
 WWW: WWW.DEEL-ENGINEERING.COM

DEEL ENGINEERING, PLLC
 CIVIL ENGINEERING SERVICES
 FIRM LICENSE #11049
 P.E. BOB BOYD
 1111 W. STATE ST. SUITE 200
 RALEIGH, NC 27601
 TEL: 919.876.1234
 FAX: 919.876.1235
 WWW: WWW.DEEL-ENGINEERING.COM

SOIL EROSION & SEDIMENTATION
CONTROL PLAN NOTES

1. SEE PLAN FOR GENERAL NOTES AND SPECIFICATIONS.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA CONSTRUCTION EROSION CONTROL ACT AND THE NORTH CAROLINA CONSTRUCTION SEDIMENTATION CONTROL ACT.
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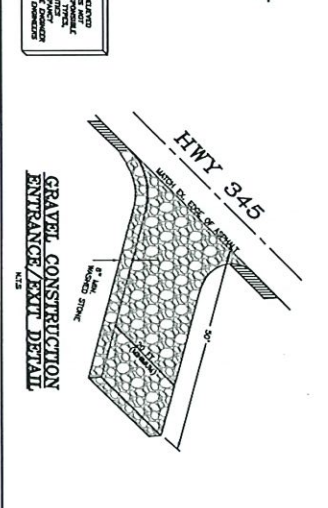
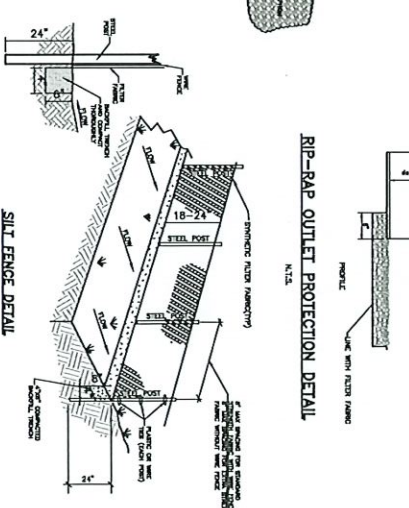
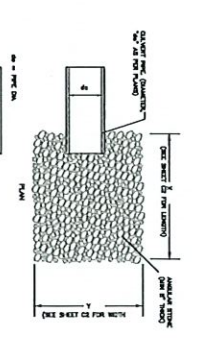


PERMANENT VEGETATION

VEGETATION TYPE	APPROXIMATE QUANTITY
GRASS	1000
SHRUBS	100
TREES	10

TEMPORARY VEGETATION

VEGETATION TYPE	APPROXIMATE QUANTITY
GRASS	1000
SHRUBS	100
TREES	10



E&S CONTROL DETAILS
OUTER BANKS DARE CHALLENGE
PID: 016520005 PIN: 979800352441

WANGHESE DARE COUNTY NORTH CAROLINA

CERTIFICATION

NO.	DATE	REVISIONS
1	4/29/2021	ISSUED FOR PERMITTING
2	3/11/2022	RELEASED FOR CONSTRUCTION

DEEL ENGINEERING, PLLC
CIVIL ENGINEERING SERVICES
FORM LICENSE P-1245
101 S.W. 11th St. #204
Fort Lauderdale, FL 33304
Tel: 954-575-8888
www.deel-engineering.com

SELF-INSPECTION, RECORDKEEPING AND REPORTING

PART III

SELF-INSPECTION, RECORDKEEPING AND REPORTING

PART III

SECTION A: SELF-INSPECTION
Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the inspection record.

Inspection	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days in which no rainfall occurred shall be recorded as "None." The permittee may use another rain-measuring device approved by the Division.
(2) E&S Measures	At least once per 7 calendar days 7 calendar days hours of a rain event > 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measures.
(3) Stormwater outfall (SDO)	At least once per 7 calendar days 7 calendar days hours of a rain event > 1.0 inch in 24 hours	1. Identification of the discharge outfall inspected. 2. Name of the person performing the inspection. 3. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 4. Indication of visible sediment leaving the site. 5. Description of any corrective action taken.
(4) Perimeter of site	At least once per 7 calendar days 7 calendar days hours of a rain event > 1.0 inch in 24 hours	1. Actions taken to clean up or stabilize the sediment that has left the site limit. 2. Description, evidence, and date of corrective action taken, and release. 3. Documentation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where applicable)	At least once per 7 calendar days 7 calendar days hours of a rain event > 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Name of the person performing the inspection. 2. Description of the sedimentation. 3. Records of the required reports to the appropriate Division and Regional Office per Part III, Section C, Item 2(d) of this permit.
(6) Ground stabilization measures	After each phase	1. The phase of grading, installation of perimeter E&S measures, clearing and grubbing, installation of storm drainage systems, completion of all in-lieu-of-banking ground cover, and completion of re-vegetation/permits. 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

SELF-INSPECTION, RECORDKEEPING AND REPORTING

PART III

SECTION B: RECORDKEEPING
1. E&S Plan Documentation
The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&S plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&S measure has been installed and does not significantly deviate from the location, dimensions and relative elevations shown on the approved E&S plan.	Initial and date each E&S measure on a copy of the approved E&S plan or complete, date and sign an inspection report that lists each E&S measure shown on the approved E&S plan. This documentation is required upon the initial installation of the E&S measure or if the E&S measure are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&S plan.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&S measures have been performed.	Complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be kept on Site
In addition to the E&S plan documents above, the following items shall be kept on the site and available for inspection throughout the permit term. The permittee shall maintain the Division specific information on unique site conditions that make this requirement not practical:

- (a) This General Permit as well as the Certificate of Coverage, after it is received.
- (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-stored records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- (c) Documentation to be Retained for Three Years
All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. (40 CFR 122.41)

SELF-INSPECTION, RECORDKEEPING AND REPORTING

PART III

SECTION C: REPORTING
Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.
- (b) Oil spills if:
 - They are 25 gallons or more.
 - They are less than 25 gallons but cannot be cleaned up within 24 hours.
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (40 CFR 110.3 and 40 CFR 111.3) or Section 102 of CERCLA (40 CFR 302.4) or 40 CFR 119.21-21.53.
- (d) Anticipated bypasses and unanticipated bypasses.
- (e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframe and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at: (800) 858-0388.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	Reporting 24 hours, on or before notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired waters conditions. Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(b) Oil spills and release of hazardous substances per Item 1(d)(1)(C) above	A report or least ten days before the date of the bypass. If possible, the report shall include an evaluation of the anticipated quality and effect of the bypass.
(c) Anticipated bypasses (40 CFR 122.41(m)(1))	Reporting 24 hours, on or before notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(d) Noncompliance with the conditions of this permit that may endanger health or the environment (40 CFR 122.41(i)(7))	Reporting 24 hours, on or before notification. Within 7 calendar days, a report that includes a description of the noncompliance and its cause; the period of noncompliance has not been corrected; the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. (40 CFR 122.41(i)(6). Division staff may waive the requirement for a written report on a case-by-case basis.

NGG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

NOTES & DETAILS ON THIS SHEET PROVIDED BY NCDEQ

E&S NOTES & DETAILS
OUTER BANKS DARE CHALLENGE
PID: 016520005 PIN: 979800352441

WANGHESE DARE COUNTY NORTH CAROLINA



CERTIFICATION

ISSUED FOR PERMITTING
RELEASED FOR CONSTRUCTION

1 4/29/2019
2 3/4/2023

REVISIONS

NO	DATE	REVISIONS

COMMISSIONER: [Signature]

DEVELOPER: [Signature]

PERMIT NO.: [Number]

SHEET NO.: 8 OF 8 SHEETS

DEEL ENGINEERING, PLLC
CIVIL ENGINEERING SERVICES
FIRM LICENSE #10449
FA 838 300
161 DEER HOLE RD
PINE HURST, NC 28134
Phone: (704) 232-3883 Fax: (704) 232-3884

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Site Area Description	Required Ground Stabilization Timeframes	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	7	None
(b) High Quality Water (HQW) Zones	7	7	None
(c) Slopes steeper than 3:1	7	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and bedders Hydro seeding Roller seeding control products with or without temporary grass seed Appropriately applied straw or other mulch with mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and bedders Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to resist erosion Structural methods such as concrete, splash or retaining walls Roller erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND HEOCCUANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NCDWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NCDWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Remove leaking fluids and other petroleum products from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas, and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint warehouses at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

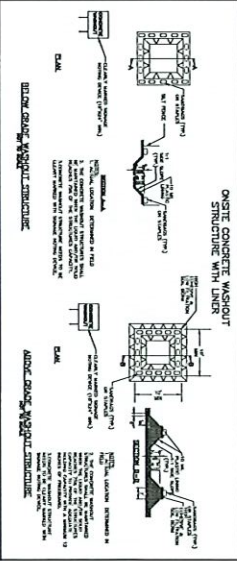
PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide stacking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and promptly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating units.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along one of slope with a minimum offset of five feet from the top of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will result in accelerated erosion on disturbed soils for temporary or permanent control needs.

NOTES & DETAILS ON THIS SHEET PROVIDED BY NCDQ



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle/regulate, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. As a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbances caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19



E&S NOTES & DETAILS
OUTER BANKS DARE CHALLENGE
 PID: 016520005 PIN: 979800352441

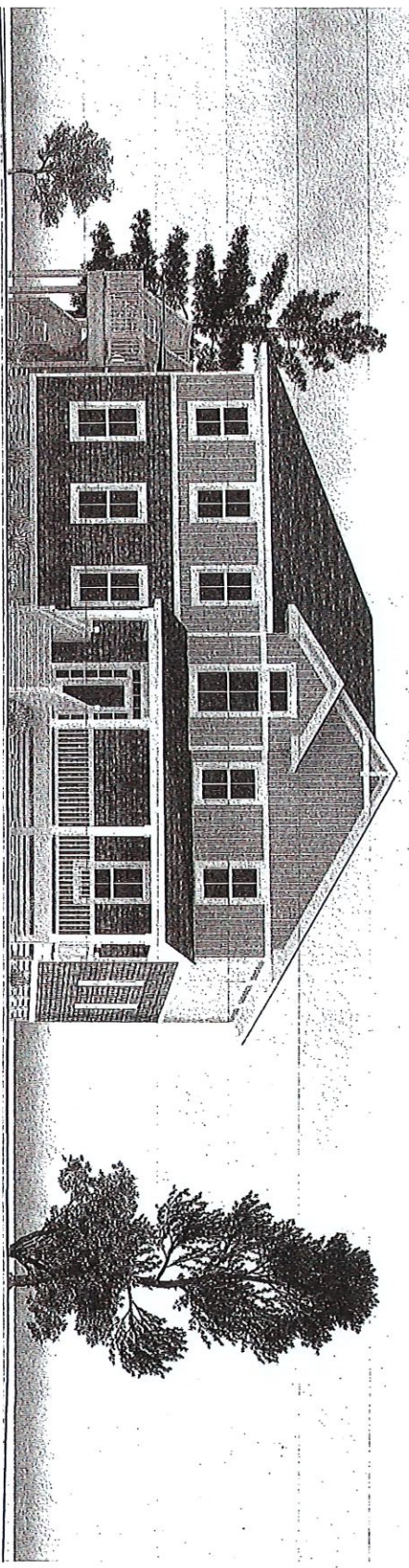


NO.	DATE	REVISIONS
1	4/26/2017	ISSUED FOR PERMITTING
2	3/6/2022	REVISED FOR CONSTRUCTION

CONCRETE WASHOUT STRUCTURE WITH LINER
 AGGREGATE WASHOUT STRUCTURE

DEEL ENGINEERING, PLLC
 CIVIL ENGINEERING SERVICES
 FIRM LICENSE #10445
 P.A. 001 301
 181 DEEL BLVD. #200
 RALEIGH, NC 27601
 Phone: (919) 876-8800

Dare Challenge Dormitory Building #1



INDEX		AREA SCHEDULE		ABBREVIATIONS		
SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE	FIRST FLOOR	SECOND FLOOR	TOTAL HEATED AREA
A1	COVER SHEET	B1	FOUNDATION PLAN & DETAIL	1,789 SQ.FT.	1,688 SQ.FT.	3,476 SQ.FT.
A2	FIRST FLOOR PLAN	B2	FIRST FLOOR FINISHING PLAN & DETAIL	224 SQ.FT.	64 SQ.FT.	288 SQ.FT.
A3	SECOND FLOOR PLAN	B3	SECOND FLOOR FINISHING PLAN	80 SQ. FT.		
A4	ELEVATIONS	B4	ROOF PLAN, CEILING FINISHING PLAN & DETAILS			
A5	SECTION, WALL SECTION & DETAILS					
A6	UNRAISED BATHROOM PLANS & ELEVATIONS					
A7	BATHROOM ELEVATIONS					

ABBREVIATIONS

AP - ABOVE FINISHED FLOOR	FIN - FINISH	CON - CONCRETE	LOC - LOCATION
BE - BELOW	SPR - SPRINKLER	ST - STEEL	LOC - LOCATION
SI - SCHEDULE	STR - STRUCTURE	TR - TRUSS	LOC - LOCATION
SI - SCHEDULE	TR - TRUSS	TR - TRUSS	LOC - LOCATION
SI - SCHEDULE	TR - TRUSS	TR - TRUSS	LOC - LOCATION

PROJECT #
22-011

DATE
2/7/23

01 SHEET #
A1

SCALE: AS NOTED

DRAWN BY: MF, DO, CN

REVISIONS:

FLOREZ
DESIGN STUDIOS, P.C.

www.florezplns.com
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Point Harbor, NC 27964

florezdesignstudios.com
Tel: 252-491-8000 Fax: 252-491-9978
Email: florezedesignstudios@gmail.com

**Dare Challenge
Dormitory - Building #1**

Location: NC 345, Wanchese, North Carolina



Michael A. Florez
Professional Engineer
Date: 2023.03.03
A. Florez, 171822-03197



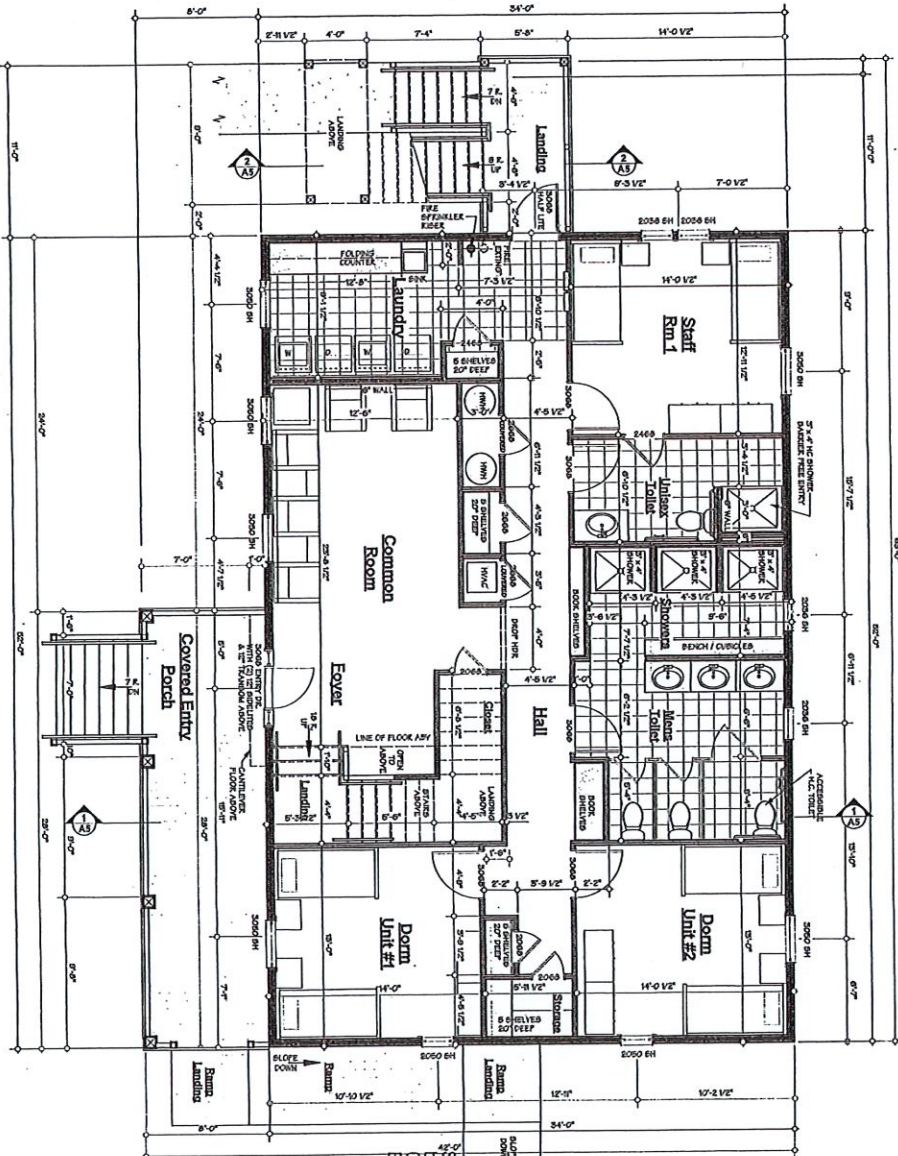
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WINDOW & DOOR NOTES:

1. ALL WINDOW AND EXTERIOR DOORS ARE AS PER CONTRACTOR. THE ENTRY & OTHER HINGED DOORS ARE OF FINISH DIMENSIONS & ACTUAL UNIT SIZES & QUANTITIES. WINDOW SIZES ARE SHOWN IN INCHES, INCLUDING SILL, HEAD & SIDE CASINGS.
2. CONTRACTOR IS RESPONSIBLE FOR ALL WINDOW COLOR SELECTIONS & ACCESSORIES.
3. FINISHING UNITS ARE SHOWN UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CODE COMPLIANCE FOR ALL WINDOWS & DOORS.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DESIGN PRESSURE AND WIND RESISTANCE FOR ALL WINDOWS AND DOORS WITH GRADE & LOCAL BUILDING CODES.
5. TEMPERED GLASS UNITS ARE TO BE USED AS PER CODE REQUIREMENTS. IT IS CONTRACTOR'S RESPONSIBILITY TO VERIFY TEMPERED GLASS LOCATIONS.
6. ALL BEDROOMS TO HAVE MIN. OF WINDOW OR DOOR LEADING TO THE NEAREST CODE REQUIREMENTS. CONTACTS TO VERIFY.
7. IMPACT RESISTANT WINDOWS MAY BE REQUIRED AS PER LOCAL CODES. CONTRACTOR TO VERIFY LOCATIONS.
8. SIZE EVALUATION FOR WINDOW SLOUGH OPENING HEIGHT, WEIGHTS AND LOCATIONS.
9. ALL OPERABLE WINDOWS MUST MAINTAIN 3" MIN. DISTANCE ABOVE FINISHED FLOOR TO WINDOW SILL OPENING OR USE BUILDING INFORMATION MODELING DEVICE. IF WINDOW IS NOT NEXT TO A ROOF, DECK OR LOWER ROOF TO THE OUTSIDE OF THE WINDOW.

GENERAL NOTES:

1. ALL UNFINISHED WALLS ARE TO BE BASED ON 4"X8" DIM. OR 4"X6" DIM. WHERE APPLICABLE UNLESS OTHERWISE NOTED.
2. AT ALL EXTERIOR DOORS, WOOD WATER RESISTANT WRAP OR CONCRETE/STONE FINISHES.
3. CONTRACTOR TO VERIFY WATER HEATER TYPE & LOCATION.
4. HVAC EQUIPMENT TO BE LOCATED IN THE ATTIC, WITH AN ACCESSIBLE OPENING LARGER THAN THE LARGEST PIECE OF EQUIPMENT, AND IN NO CASE LESS THAN 22" X 34".
5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING FLOOR FINISHING RECOMMENDATIONS WITH STATE & LOCAL BUILDING CODES.



NOTES:
 1. ALL EXTERIOR WALLS TO BE 2x8 STUDS AT 16" O.C.
 2. UNLESS NOTED OTHERWISE.
 3. UNLESS NOTED OTHERWISE.
 4. UNLESS NOTED OTHERWISE.

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Septic Layout Approved
 by DCHHS, DPH, EH Unit
 On 11/13
 By [Signature]

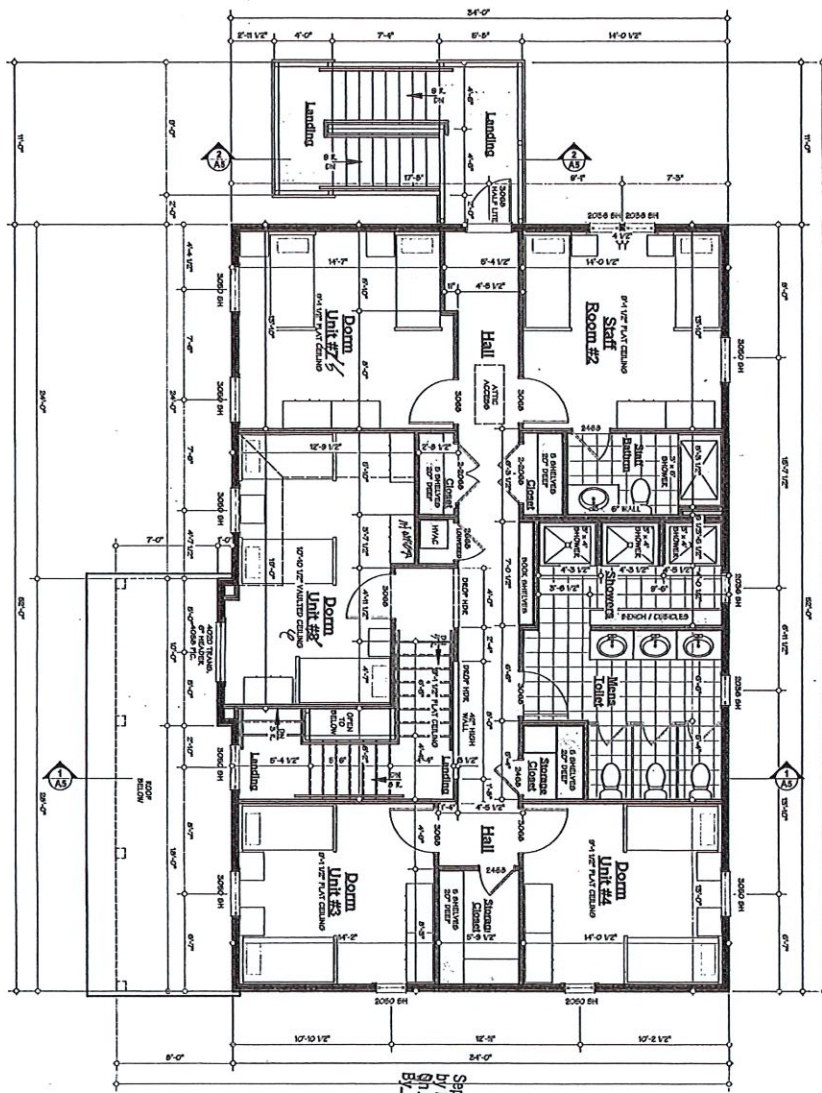
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PROJECT #	SCALE: AS NOTED
22-611	DRAWN BY: MJ, BD, CN
DATE: 8/7/22	REVISIONS:
SHEET #	



**Dare Challenge
 Dormitory - Building #1**

Michael A. Florez
 Architect
 14183
 HOUSTON, TEXAS
 77059-4207



NOTE:
 1. ALL EXTERIOR WALLS TO BE 2x8 STUDS AT 16" O.C.
 2. ALL INTERIOR WALLS TO BE 2x4 STUDS AT 16" O.C.
 UNLESS NOTED OTHERWISE.

SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Septic Layout Approved
 by DDDHS, DPH, EH Unit
 8/1/23

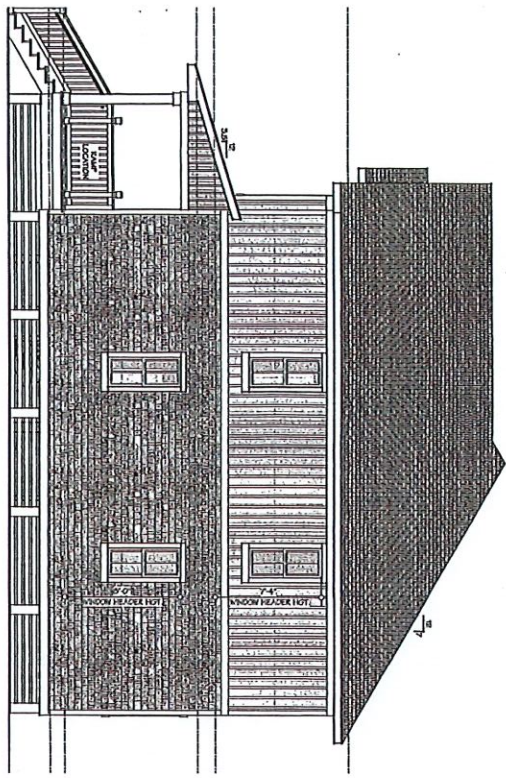
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PROJECT #	SCALE: AS NOTED
22-011	DRAWN BY: MF, PO, CN
DATE: 2/1/23	REVISIONS:
SHEET #	
A3	

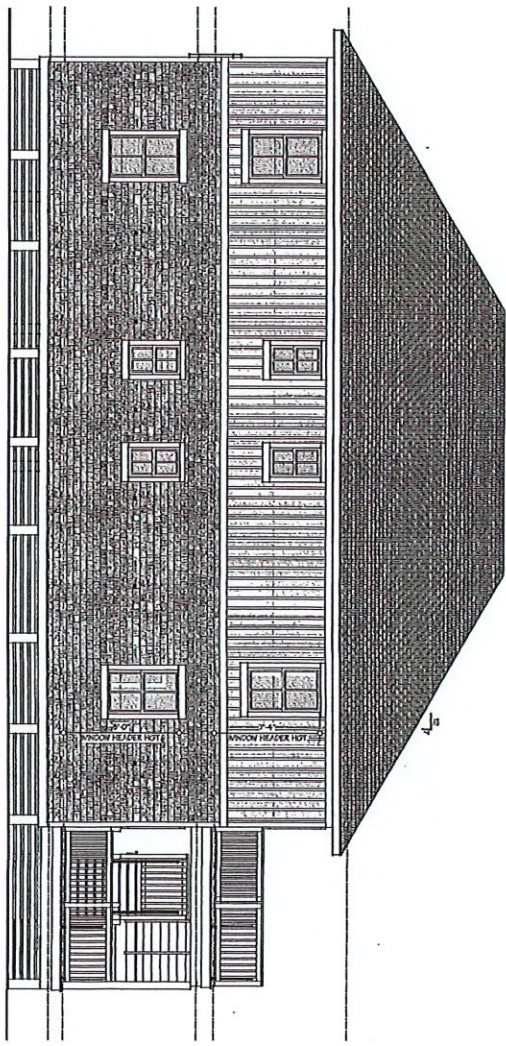
FLOREZ
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 Point Harbor, NC 27864
 florezdesignstudios.com
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 Email: florezdesignstudios@gmail.com

**Dare Challenge
 Dormitory - Building #1**
 Location: NC 345, Wanchese, North Carolina

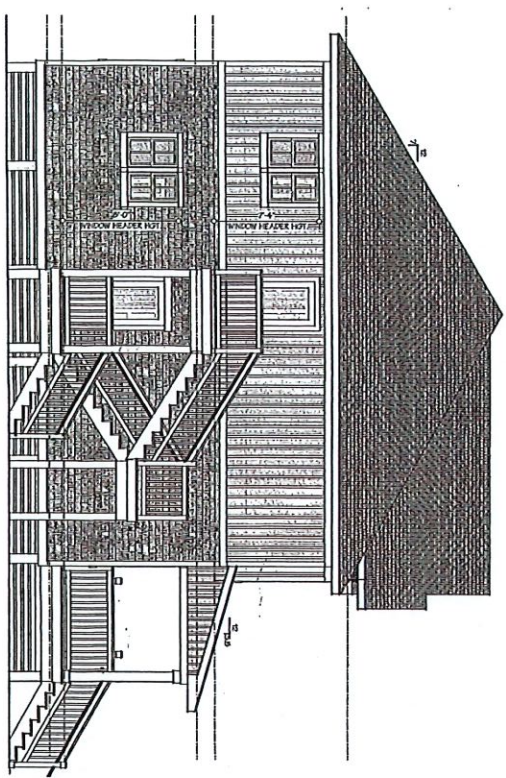




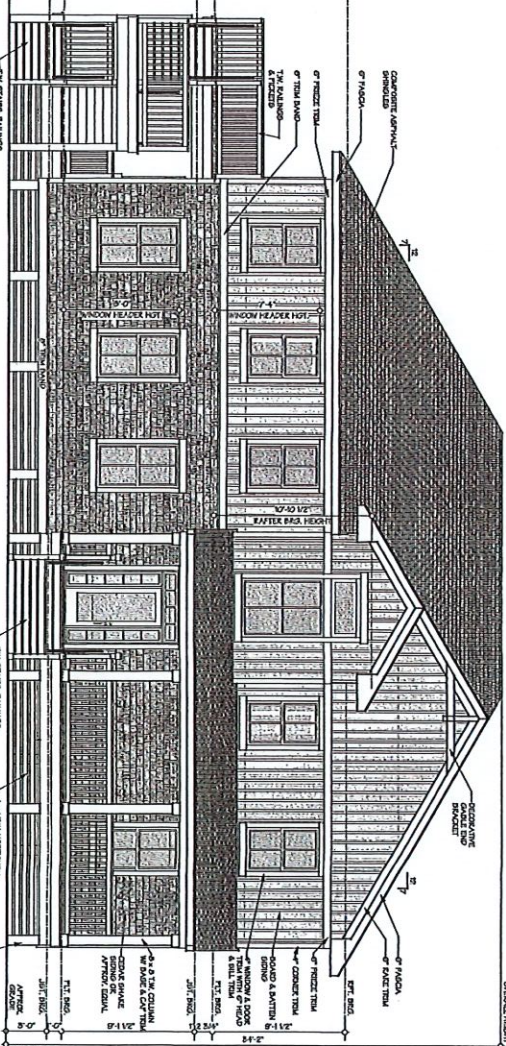
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

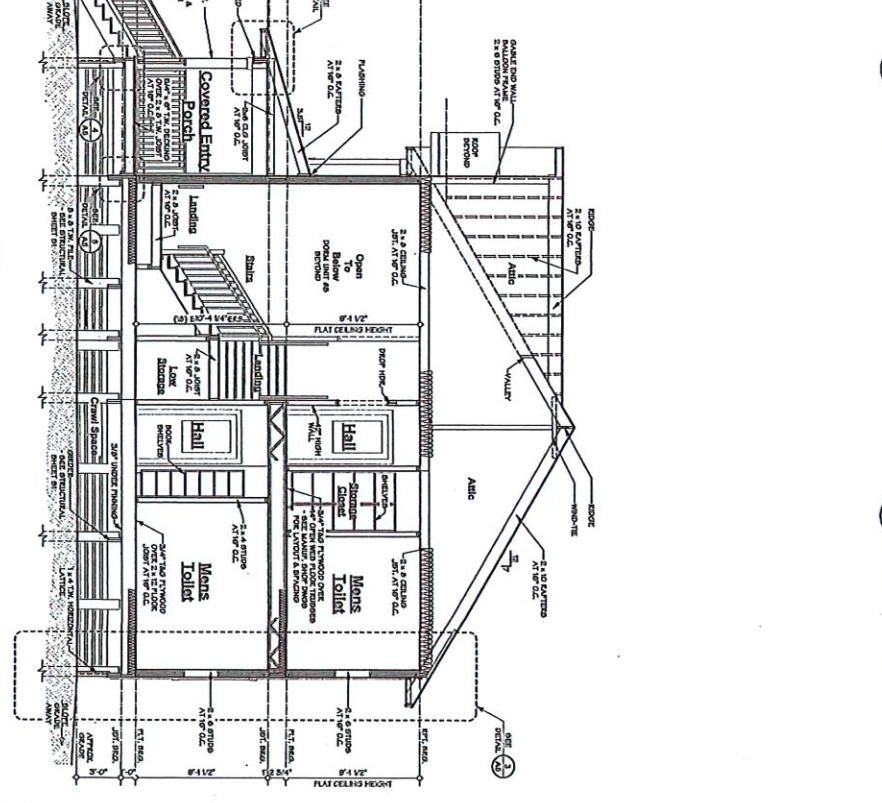
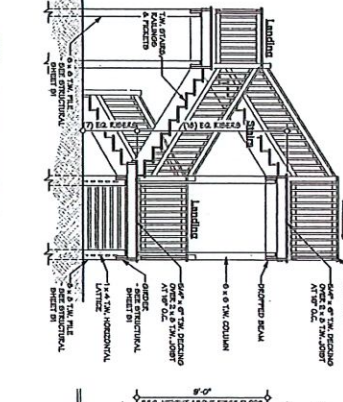
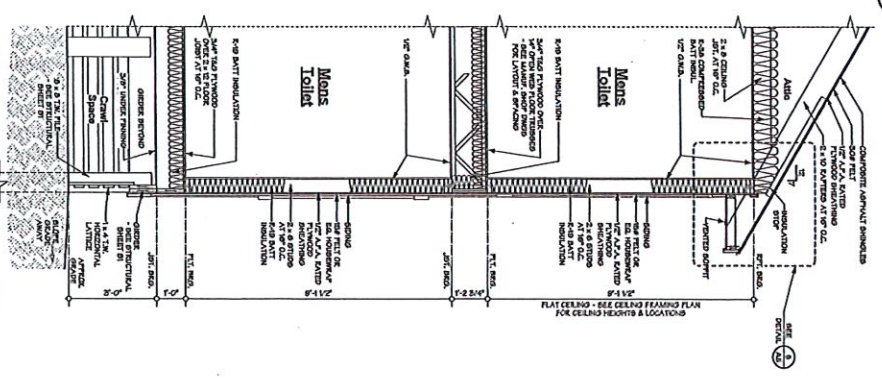
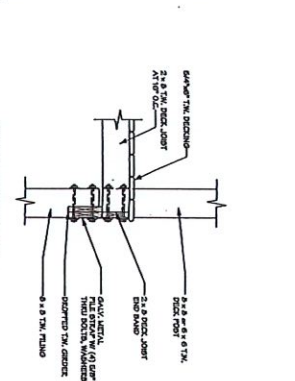
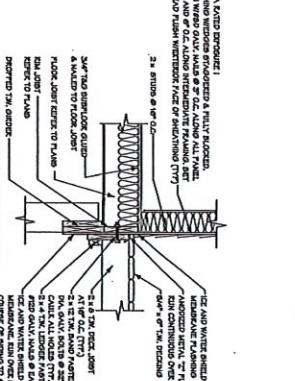
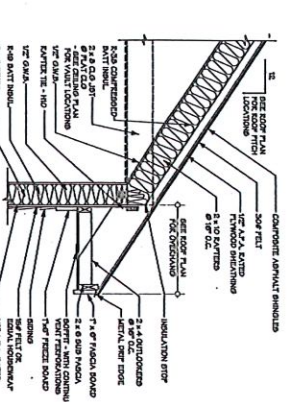
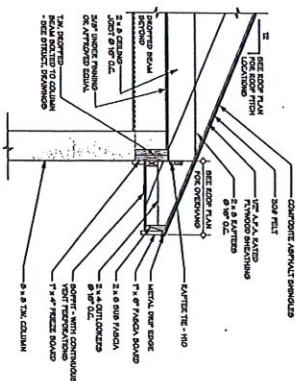
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PROJECT #	SCALE: AS NOTED
22-011	DESIGN BY: MF, RD, CH
DATE: 5/1/23	REVISIONS:
SHEET #	
A4	

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Pilot Harbor, NC 27664
Tel: 252-491-0900 Fax: 252-491-0976
Email: florezdesignstudio@gmail.com

Dare Challenge
Dormitory - Building #1
Location: NC 345, Wanchese, North Carolina





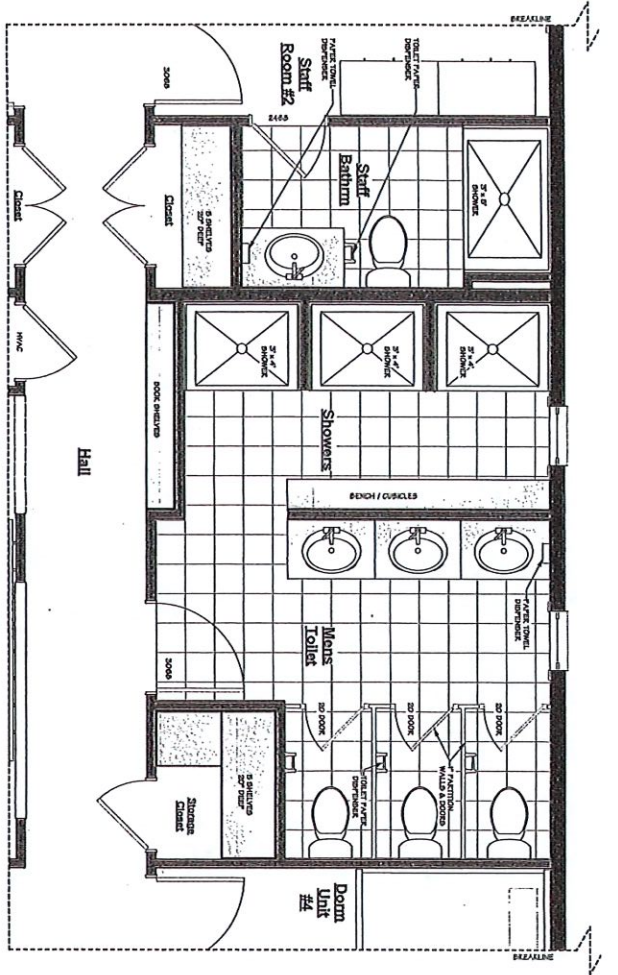
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PROJECT #	SCALE: AS NOTED
22-011	DRAWN BY: MF, BO, CN
DATE: 3/1/23	KEYWORDS:
SHEET #	
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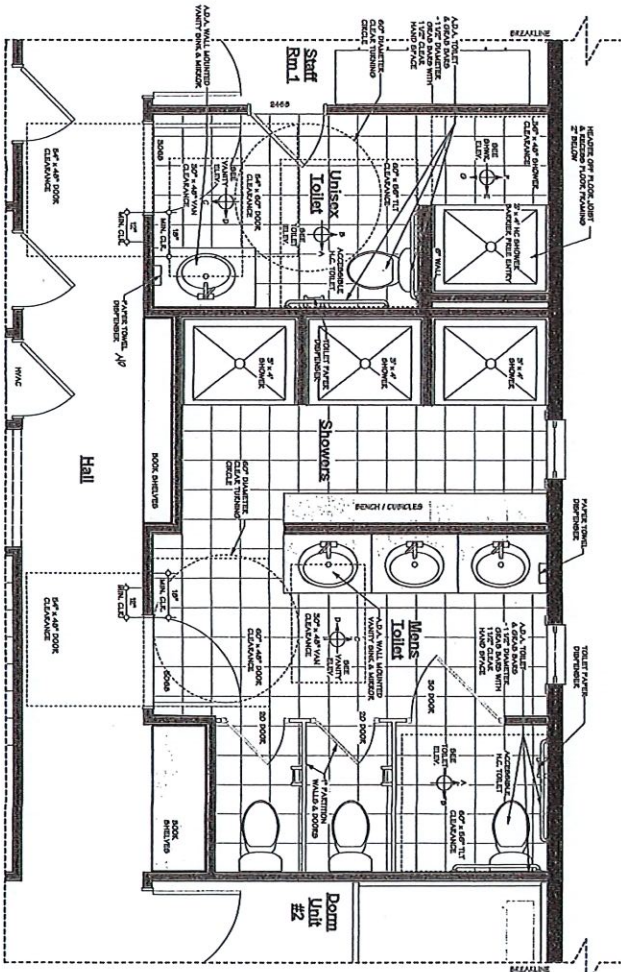
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Dare Challenge
Dormitory - Building #1
Location: NC 345, Wanchese, North Carolina





**SECOND FLOOR
ENLARGED BATHROOM PLAN**
SCALE: 1/2" = 1'-0"



**FIRST FLOOR
ENLARGED BATHROOM PLAN**
SCALE: 1/2" = 1'-0"

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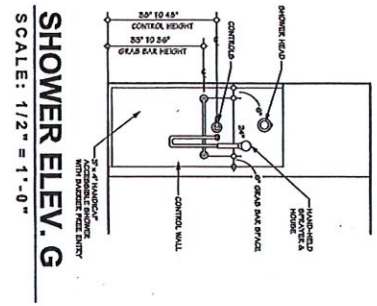
PROJECT #	SCALE: AS NOTED
22-011	DRAWN BY: MF, PD, CN
DATE: 5/7/23	REVISIONS:
SHEET #	
A6	

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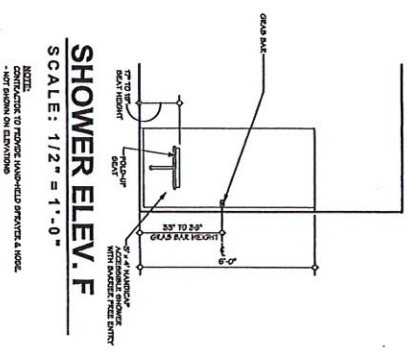
**Dare Challenge
Dormitory - Building #1**
Location: NC 345, Wanchese, North Carolina

Michael
A Florez
Architectural Firm
171340-0787

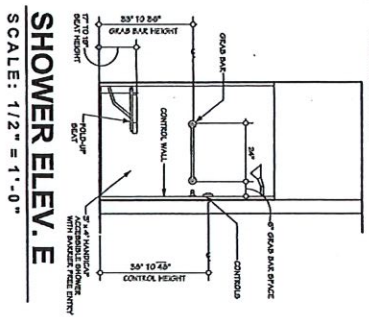




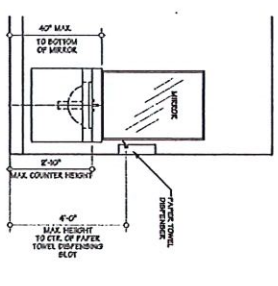
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SCALE: 1/2" = 1'-0"



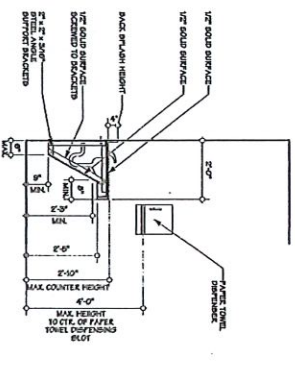
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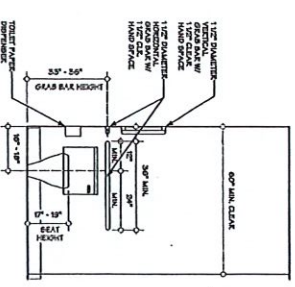
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SCALE: 1/2" = 1'-0"



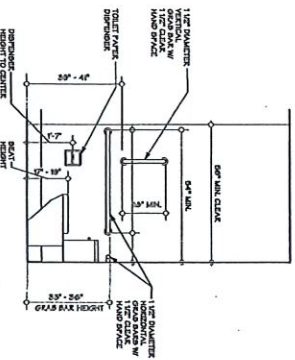
VANITY ELEV. D
SCALE: 1/2" = 1'-0"



VANITY ELEV. C
SCALE: 1/2" = 1'-0"



TOILET ELEV. B
SCALE: 1/2" = 1'-0"



TOILET ELEV. A
SCALE: 1/2" = 1'-0"

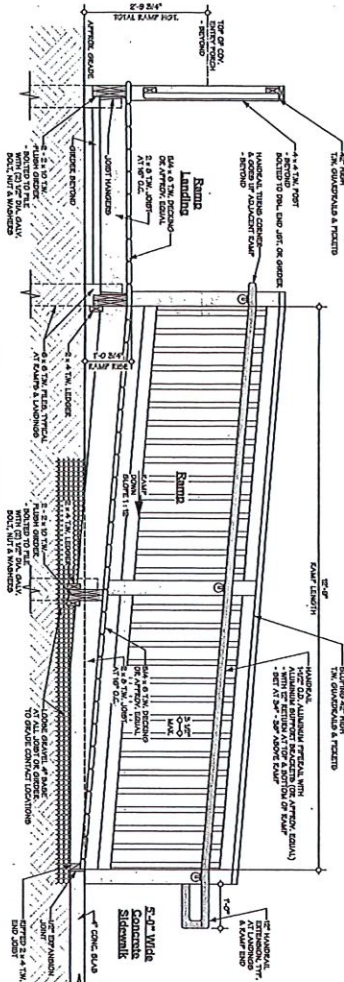
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PROJECT #	SCALE: AS NOTED
22-011	DRAWN BY: MF, PD, CH
DATE: 07/23	REVISIONS:
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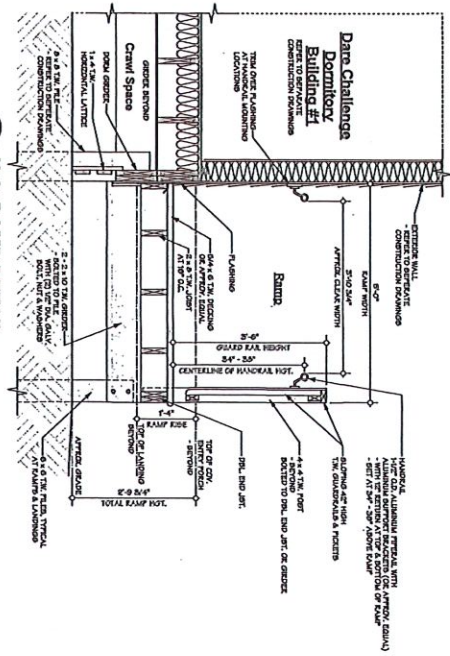
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Dare Challenge
Dormitory - Building #1
Location: NC 345, Wanchese, North Carolina

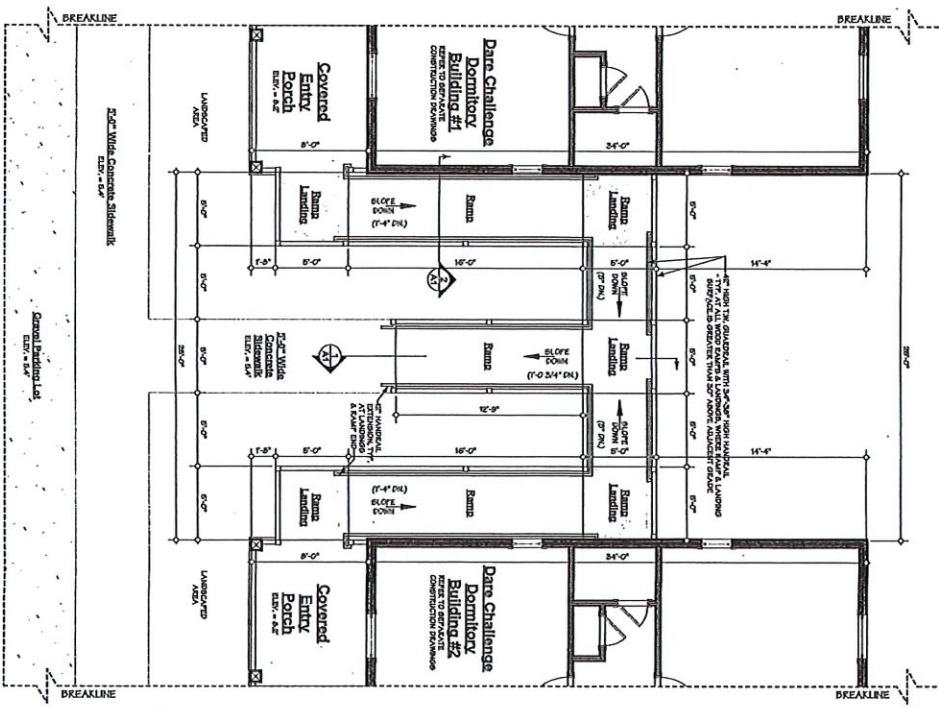
Michael A. Florez
14183
1708221-0707



1 H.C. RAMP DETAIL
SCALE: 3/4" = 1'-0"



2 H.C. RAMP DETAIL
SCALE: 3/4" = 1'-0"



H.C. RAMP PLAN
SCALE: 1/4" = 1'-0"

RAMP NOTES:
 1. RAMP SHALL HAVE A MAXIMUM SLOPE OF 1:12 OR LESS TO TOP OF RAMP.
 2. RAMP SHALL BE CONSTRUCTED TO FIELD VENTILATION CONDITIONING & PROPOSED GRADE ELEVATION FOR COMPATIBILITY WITH PROPOSED RAMP LENGTHS & SLOPES.
 3. TOTAL RAMP RISE = 2'-9" FROM TOP OF SIDEWALK TO TOP OF COVERED ENTRY PORCHES.
SLABED RAMP NOTE:
 1. COVERED RAMP SHALL BE 4'-0" HIGH ABOVE FINISHED WALK SURFACES AT ALL POINTS.
 2. LANDING SHALL NOT EXCEED 15' IN LENGTH OR 7'0" IN WIDTH.

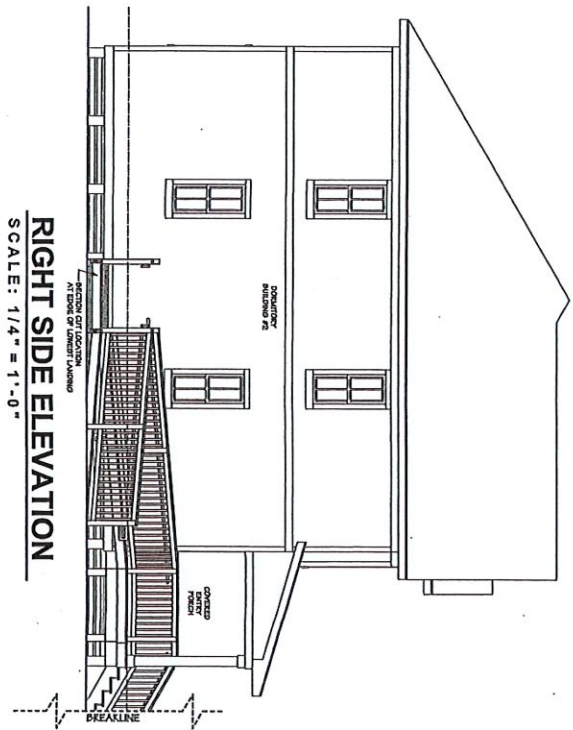
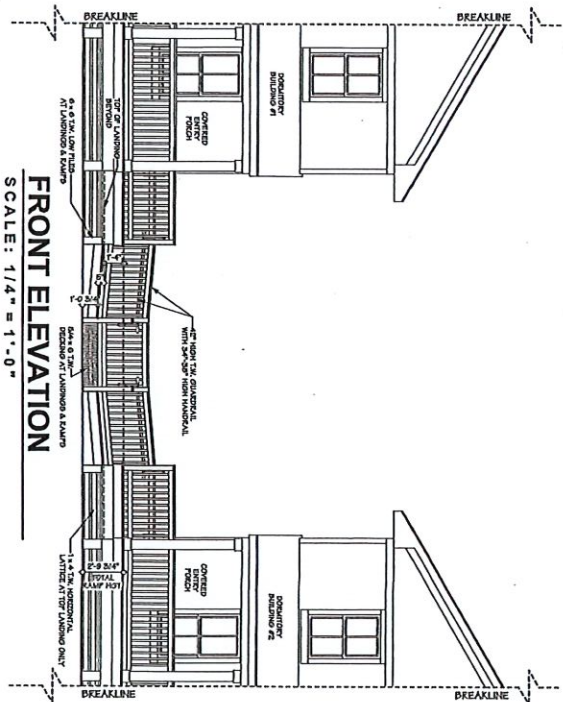
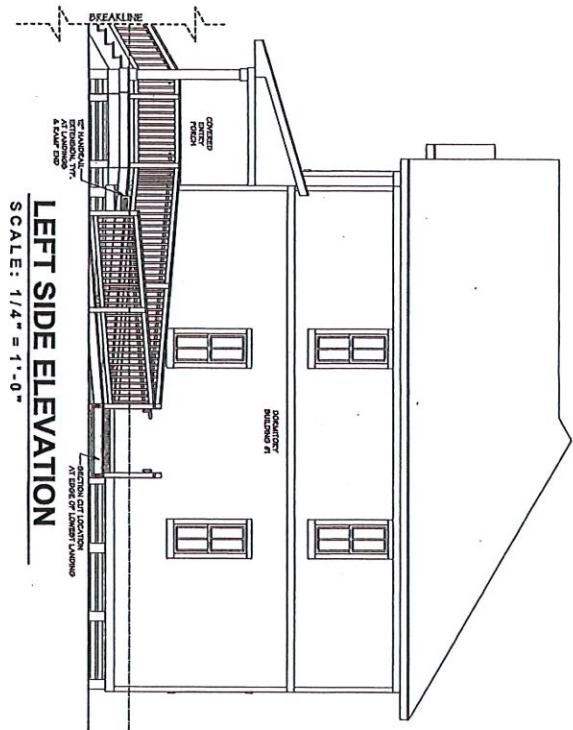
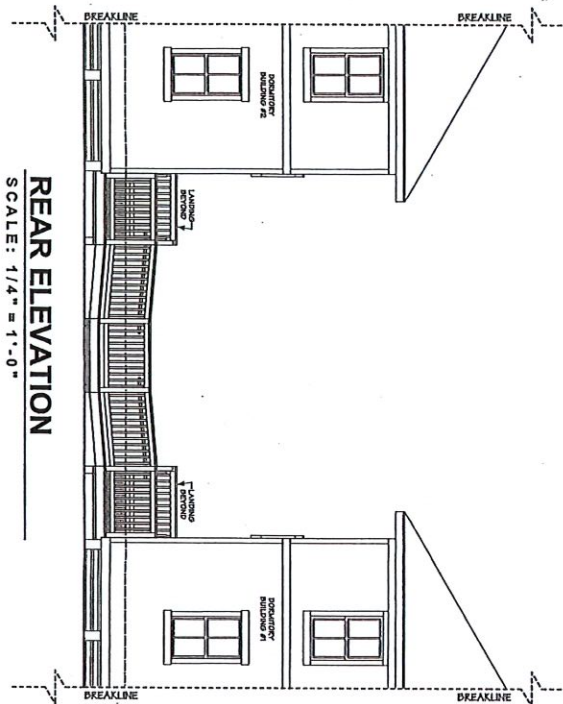
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PROJECT #	SCALE: AS NOTED
22-611	DRAWN BY: MF, ED, CH
DATE: 8/2/23	REVISIONS:
SHEET #	
A1	

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**Dare Challenge
 Dormitory - H.C. Ramp**
 Location: NC 345, Wanchese, North Carolina





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PROJECT #	SCALE: AS NOTED
22-611	DRAWN BY: MF, EO, CN
DATE: 2/2/23	REVISIONS:
SHEET #	
A2	

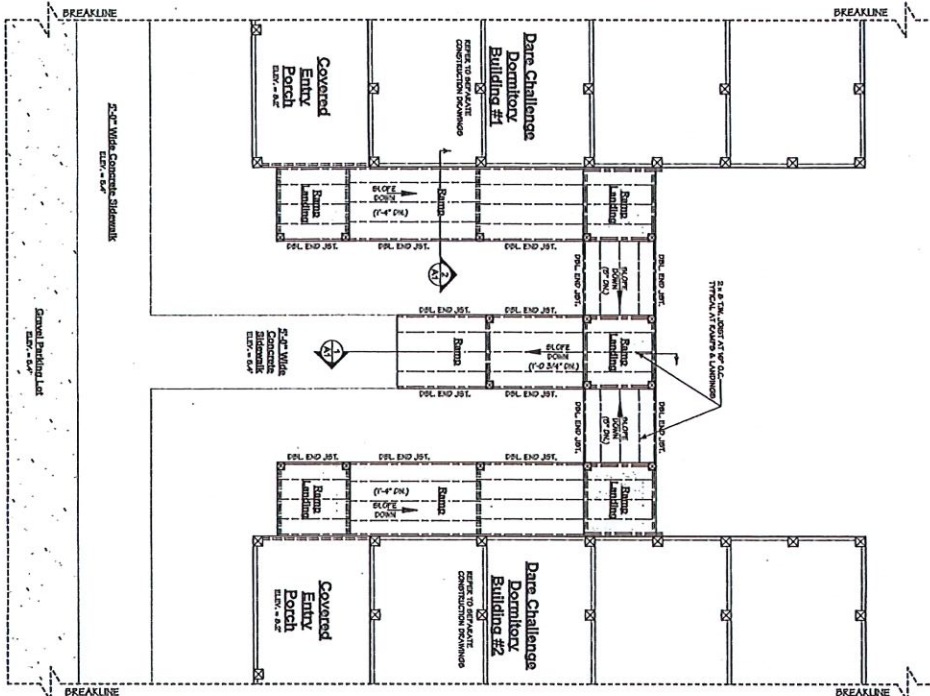
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**Dare Challenge
 Dormitory - H.C. Ramp**
 Location: NC 345, Wanchese, North Carolina



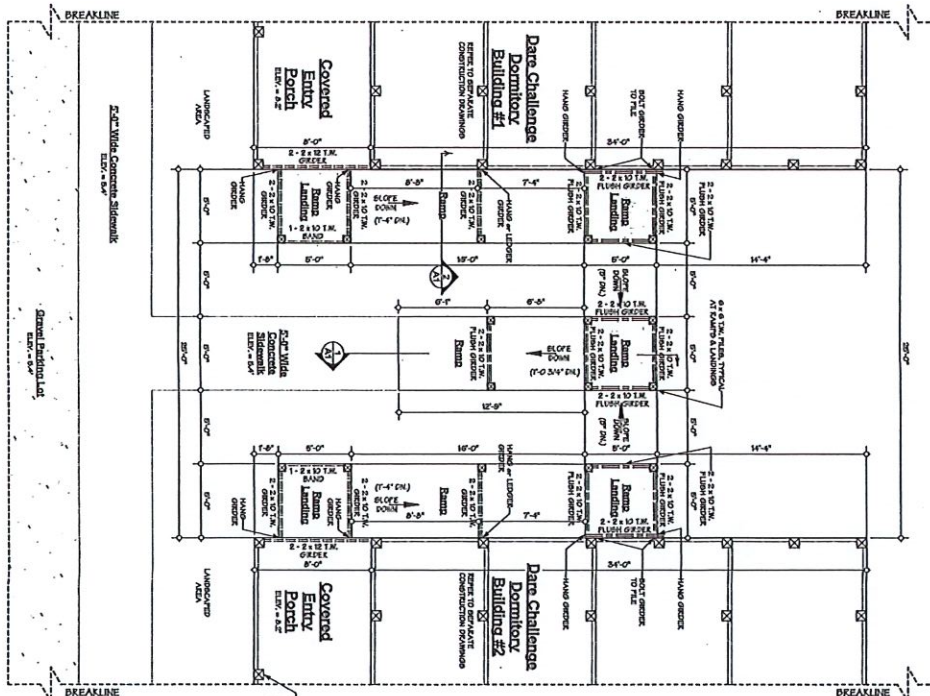
H.C. RAMP FRAMING PLAN

SCALE: 1/4" = 1'-0"



H.C. RAMP FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



- GENERAL NOTE:**
1. RAFT & LANDING SLABS SHALL BE 6" x 6" F.T. WITH DIMENSION DEPTH OF 1'-0" FROM EXISTING GRADE (FIN) & TYPICAL AT EXTERIOR PORCHES.
 2. CONCRETE SHALL BE 3000 PSI STRENGTH.
 3. COVER WITH CORROSION LOCAL AND SPLIT EQUIVALENTS.
 4. COVER MATERIAL SHALL BE 2" X 10' @ 20" SPACING YELLOW PINE PRESERVATIVE TREATED LUMBER WITH 0.005" GALVANNEZED SHEET.
 5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE PROPER INSTALLATION OF ALL METAL FABRICERS PER MANUFACTURERS SPECIFICATIONS.
- ORDER/LEADER NOTE:**
1. FOR ALL JOINTS (OR DRIFT) NUMBER ORDERS OF 20' DIA., NOTION FINISHES FOR TWO HEADERS, INSTALL THEM ON COLUMN W/SPACER BETWEEN FINISHES AND MANUFACTURERS SPECIFICATIONS.
- FRAMING NOTE:**
1. ALL JOINT AT FINISH GRADE.
 2. DIMENSIONED LUMBER SHALL BE INSTALL PER MANUFACTURERS SPECIFICATIONS.

- LUMBER NOTE:**
1. ALL 2" DIA. JOINTS, CROSS JOINTS, GIRDERS, BEAMS, CHAIRS & JOISTS TO BE 20' SOUTHEN YELLOW PINE TO BE COMPACTIONED BY THE CONTRACTOR WITH THE STRUCTURAL DIVISION.
- SLAB NOTE:**
1. ALL NEW CONCRETE SHALL BE 3000 PSI STRENGTH WITH 0.005" GALVANNEZED SHEET FOR COVER WITH CORROSION LOCAL AND SPLIT EQUIVALENTS.
 2. TOTAL SLAB THK. = 2-3" SWP FROM TOP OF SUBGRADE TO TOP OF COVERED ENTRY PORCHES.

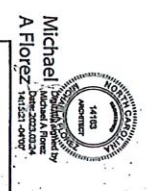
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PROJECT #	SCALE: AS NOTED
22-611	DESIGN BY: M.P., E.D., CH
DATE: 5/2/23	REVISIONS:
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A3	

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Email: florezdesignstudios@gmail.com

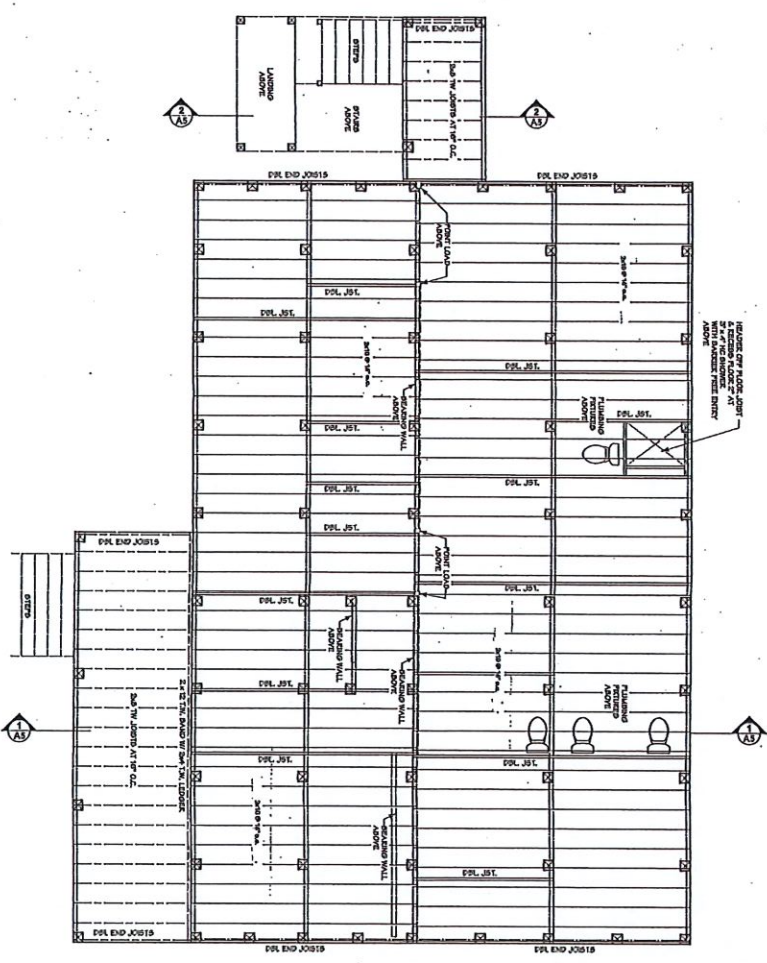
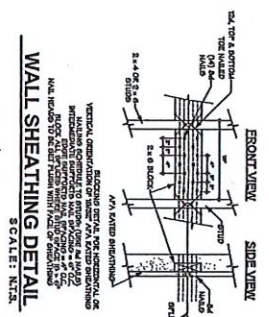
Dare Challenge
Dormitory - H.C. Ramp
Location: NC 345, Wanchese, North Carolina



- LUMBER NOTE:**
1. ALL FLOOR JOIST, BRICK JOIST, GIRDERS, BEAMA, CEILING JOIST & PARTS TO BE FINISH YELLOW PINE TO BE COMPACTION BY THE CONTRACTOR WITH THE STRUCTURAL ENGINEER.
 2. DIMENSIONED LUMBER SHALL BE SPICED FOR GROSS & FLUSH BEAM LOCATIONS.
 3. REFER TO THE FOUNDATION PLAN ON SHEET OF FOR DECK AND HOUSE GROSS SIZE.
 4. CONTRACTOR TO COMPACTION FLUSH GROSS LOCATIONS WITH 1/4" COMPACTOR.
- BRACING NOTE:**
1. HANG OR LINGER ALL JOIST AT FLUSH GROSS & FLUSH BEAM LOCATIONS.
 2. DIMENSIONED LUMBER SHALL BE SPICED FOR GROSS & FLUSH BEAM LOCATIONS.
 3. REFER TO THE FOUNDATION PLAN ON SHEET OF FOR DECK AND HOUSE GROSS SIZE.
 4. CONTRACTOR TO COMPACTION FLUSH GROSS LOCATIONS WITH 1/4" COMPACTOR.

REMOVE EXISTING LUMBER
REMOVE A HOUSE JOIST FROM TYPICAL ONE ALL FLOOR.

REMOVE EXISTING LUMBER
REMOVE A HOUSE JOIST FROM TYPICAL ONE ALL FLOOR.



PROJECT #	SCALE AS NOTED
22-611	FRAMING
DATE: 07/23	REVISIONS:
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ALL TRUSSES EXPOSED BY OWNER TO BE PAINTED WITH ANTI-RUST PAINT. EXAMINED BY THE ENGINEER. HAVE CONTRACTOR TO THE GROSS OF THE GROSS WITH FINISHING LOCAL. HAVE CONTRACTOR TO THE GROSS OF THE GROSS WITH FINISHING LOCAL. HAVE CONTRACTOR TO THE GROSS OF THE GROSS WITH FINISHING LOCAL.

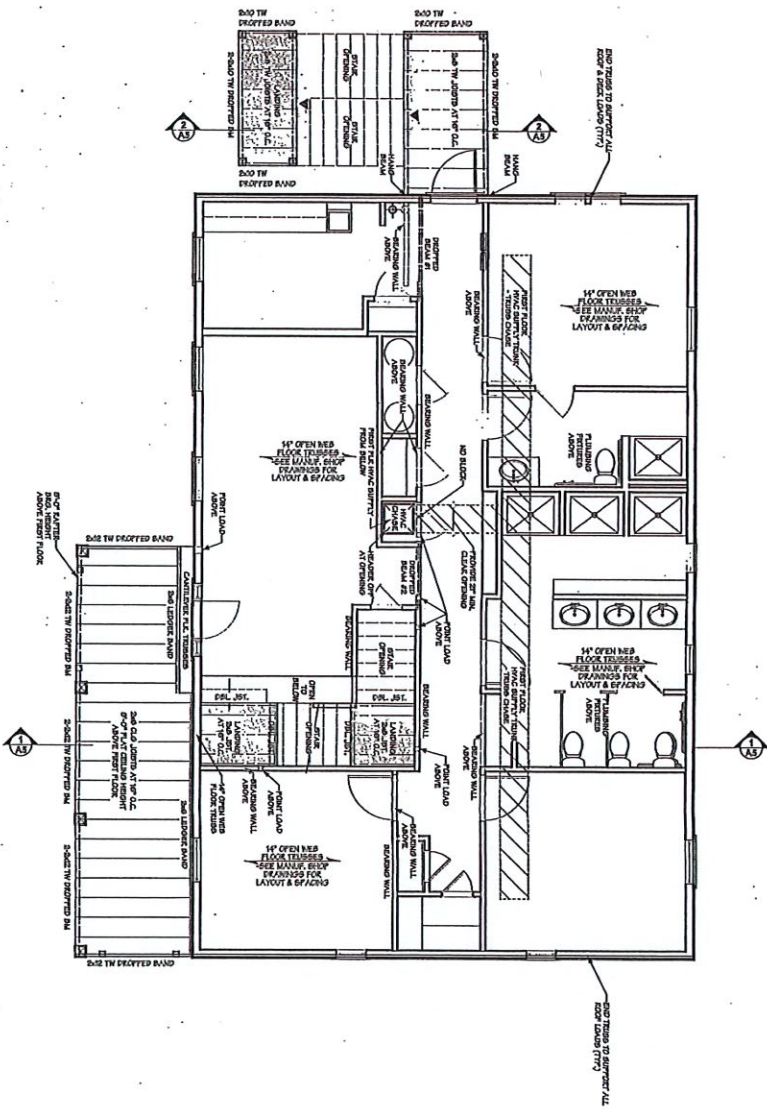
Prepared & Sealed by: **Paul Hester, NC 27044**



Dare Challenge
Dormitory - Building #1
Location: NC 345, Wanchese, North Carolina

LUMBER NOTE:
 1. ALL FLOOR JOIST, BRICK JOIST, GIRDERS, BEAMS, CHAIRS & JOIST & GIRDERS TO BE #2 SOFTWOOD YELLOW PINE, UNLESS NOTED OTHERWISE.
 2. ALL JOIST & GIRDERS TO BE COORDINATED BY THE CONTRACTOR WITH THE STRUCTURAL ENGINEER.
FRAMING NOTES:
 1. HANG OR LINGER: ALL JOIST AT FLUSH GORER & FLUSH BEAM LOCATIONS.
 2. MANUFACTURER'S SPECIAL FINISH.
BE LOBE TRIMLINE NOTES:
 1. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE HVAC TRIMLINE CHASE LOCATION, SIZES & OPENINGS WITH HVAC CONTRACTOR & TRIMLINE MANUFACTURER.
 2. ALL TRIMLINE MANUFACTURERS MUST PROVIDE FOR TRIMLINE TO BE 1/2" MIN. FROM FINISH SURFACE.

2ND FLR. FRAMING BEAM SCHEDULE	
MARK	DESCRIPTION
BEAM #1	DICTATED 2-2x12
BEAM #2	DICTATED 2-2x12
▶ INDICATES BEAMS 1-240/1 TO 2-240/2	



SECOND FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

Registered Professional Engineer
 State of North Carolina
 No. 22684
 Dare Challenge
 1000 S. W. 10th St.
 Raleigh, NC 27604

ALL TRIMLINES COORDINATED BY CONTRACTOR WITH HVAC CONTRACTOR & TRIMLINE MANUFACTURER. CONTRACTOR TO PROVIDE TRIMLINE MANUFACTURER'S SPECIAL FINISH TO BE COORDINATED BY THE CONTRACTOR WITH THE STRUCTURAL ENGINEER.

PROJECT #	SCALE AS NOTED
22-011	FRAMING PLAN
DATE 01/23	REVISIONS
SHEET #	
S3	

Dare Challenge
Dormitory - Building #1
 Location: NC 345, Wanchese, North Carolina



Conditional Use Permit No.6-2020

Dare County Sections 22-27.16, 22-31, and 22-68.

Application of: Outer Banks Dare Challenge

On January 4, 2021, the Dare County Board of Commissioners considered the application of the Petitioner above named which application is on file with the Dare County Planning Department, and the Board finds as follows:

1. That the written application of Petitioner with attachments has been duly submitted to the Dare County Planning Board as required by Section 22 of the Dare County Code (hereinafter referred to as "Code");
2. That the application substantially complies with the requirements of the Code in that it requests uses permitted by conditional use permit under the Code, including residential structures in a group housing development;
3. The subject property is zoned Highway 345. This property is identified on the Dare County tax records as PIN 979810352441.
4. That the Dare County Planning Board recommended for approval the granting of this Conditional Use Permit as requested. The Planning Board made this recommendation on December 14, 2020.
5. That the Dare County Board of Commissioners is empowered under sections of the Code set out above to grant uses such as allowed herein and insofar as the conditional use is hereinafter allowed it will not adversely affect the public interest;
6. That the hereinafter described conditional use is deemed to be reasonable and is not in degradation of the intent of the ordinance.
7. That upon the evidence received, the testimony presented, and the submitted written record, there are sufficient facts to support the issuance of this Conditional Use Permit according to the terms and conditions below:

NOW, THEREFORE, under the provisions of the Code, the following conditional use is granted to Outer Banks Dare Challenge for a residential recovery and treatment center group development subject to such conditions as are hereinafter set out:

CONDITIONAL USE: a residential recovery and treatment center group development consisting of five structures as depicted on Appendix B, which is included as part of this conditional use permit. One of the structures is an existing structure that will be incorporated into the group development and the remaining four structures shall be constructed.

CONDITIONS:

1. The four new structures shall be constructed as depicted on Appendix B. The structures will include a multipurpose facility consisting of 9,920 square feet, two dormitory structures featuring 1,768 square feet in each structure with an occupancy of sixteen people in each structure, and one residential staff house consisting of 1,768 square feet with an occupancy of sixteen people. A total of twenty-seven parking spaces shall be provided and improved with gravel. Two driveway entrances from Highway 345 shall be provided, one of which currently serves as access to the site.
2. The existing structure, consisting of 3,604 square feet, will be incorporated into the group development as depicted on Appendix B. There will be no structural improvements to this structure as part of this group development approval.
3. A fire hydrant shall be installed as noted on Appendix B.
4. The structures shall be separated by a minimum of twenty feet as established in Section 22-31 of the Dare County Zoning Ordinance and elevated for compliance with the Dare County Flood Damage Prevention Ordinance.
5. Building permits for the structures shall be secured within 60 months from date of Board of Commissioners approval. The site improvements shall be constructed according to the North Carolina fire codes. An as-built survey for the property shall be submitted to the Planning Department upon the completion of all of the structures to confirm compliance with the terms of the Dare County Zoning Ordinance. Individual certificate of occupancy for each structure may be issued as appropriate if the structures are constructed as varying times.
9. Any substantial changes to the site plan shall be reviewed by the Dare County Planning Board and approved by the Dare County Board of Commissioners. Modifications that are minor in nature and do not increase the number of structures or square footage of the structures may be authorized administratively by the Planning Director.

10. Light fixtures shall be mounted on the buildings for safety purposes for pedestrians. If it is determined light fixtures are needed in the parking lot, then light fixtures may be installed and such work may be administratively approved by the Dare County Planning Director.
11. A violation of this Permit shall be a violation of the Code punishable as therein provided, and shall automatically void this Permit. Should a violation occur, the Petitioner shall be notified in writing by the Dare County Planning Department and corrective actions to remedy the violation undertaken as instructed.
12. All other terms and provisions of the Dare County Zoning Ordinance shall remain in full force and effect except as herein specifically permitted otherwise;

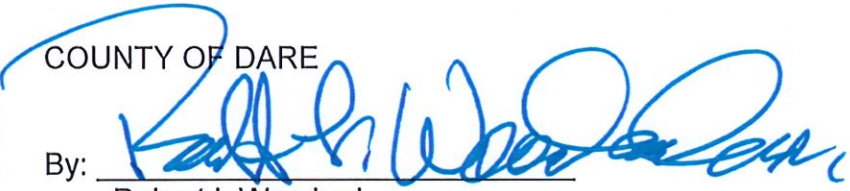
This Jan. 4th day of 2021

SEAL:



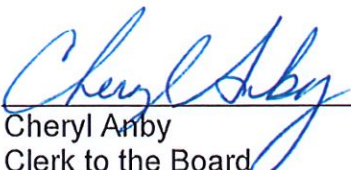
COUNTY OF DARE

By: _____


Robert L. Woodard
Dare County Board of Commissioners


ATTEST:

By: _____


Cheryl Anby
Clerk to the Board


THIS PERMIT AND THE CONDITIONS HEREIN ARE ACCEPTED

By: _____


Doug Henriott
Outer Banks Dare Challenge

APPROVED AS TO LEGAL FORM

By: _____


Robert L. Outten
County Attorney

SUBDIVISION FACTSHEET
Planning Board--Preliminary Plat Review
January 25, 2024

NAME: Burnside Estates Phase 3

LOCATION: Roanoke Island

SITE SPECIFICS: Total site area: 2.96 Acres

Number of proposed lots: 7 lots

Smallest lot area: 15,056 square feet

Site Zoning: R-2 residential

The submission includes a preliminary plat and an engineered set of plans for the proposed infrastructure and state permitting. Both set of plans will be referenced in my comments and will be approved as part of the preliminary approval.

STREETS:

A new road will be constructed to access the subdivision. The road will consist of a 50' wide right-of-way with 20 feet of paved improvements.

UTILITIES:

1. Water: Dare County central water system
2. Sewer: Individual on-site septic tank/drainfield systems.
3. Stormwater: A state stormwater low density management plan will be needed for the property. According to the terms of the Subdivision Ordinance, the state stormwater plan serves as the stormwater plan for Dare County.

STAFF COMMENTS

All of the proposed lots contain the requisite minimum area of 15,000 square feet. There is an existing barn on the site that will be demolished and/or removed as part of the subdivision development, a demolition permit will be required if the structure is to be demolished. The proposed 7 lots will be accessed from a new road proposed for the division. A street cross section is shown in the engineered plans; this cross section will need to be included on the final plat. The roadway notification certificate for the NCOT district engineer needs to be added to the preliminary and final plat.

A state stormwater management permit and state sedimentation erosion control permit are required for the development of the subdivision. According to the terms of the Subdivision Ordinance, the state permit serves as the county stormwater plan. The engineered plans submitted with the preliminary plat have also been submitted to the State for permit issuance. It is staff recommendation that the 2-year preliminary plat

approval period shall not start until copies of the applicable state permits are supplied to Dare County. If the state permits establish a lot coverage limitation stricter than the zoning ordinance a note and table shall be included on the final plat depicting the State lot coverage limitations, these limitations shall also be noted in the restrictive covenants for the subdivision.

The preliminary plat needs to show the names of all adjoining property owners, and a note needs to be added including the total acreage of the site. A note needs to be added to the plat to address road maintenance by the owners until such time that the road is accepted into the NCDOT secondary road system. This language also needs to be included in the restrictive covenants for the subdivision. Restrictive covenants should also include a maintenance agreement for stormwater improvements. The rear and side yard setbacks for lot 3 needs to be adjusted to reflect the setbacks of lots 1 and 2.

The Dare County Fire Marshal has reviewed the preliminary plat and has provided comments. The Fire Marshal indicated that a fire hydrant shall be installed on the corner of lots 1 and 2 capable of supplying a needed water fire flow of 1,000 gallons per minute. This fire hydrant is identified on the engineered plans but will need to be shown on the final plat. All other conditions of the Fire Marshal memo dated January 24, 2024 shall be complied with prior to submitting the final plat.

All staging of equipment, materials and parking of equipment/vehicles during development of the site shall occur on Burnside Estates LLC property and not along Burnside Road right-of-way. Construction activities should occur in a manner consistent with the Dare County Noise Ordinance—between the hours of 7:00 a.m. and 10:00p.m. on weekdays.

The proposed division does not include any features that trigger review by the Board of Commissioners. If the Planning Board determines the plans meet the technical standards of the Subdivision Ordinance then a motion to approve the plans will be in order. I have included a draft motion for the Planning Board's consideration. It is staff's opinion that the plans meet the technical standards of the Subdivision Ordinance.

Motion to approve: "I move the preliminary plat for the proposed Burnside Estates Phase 3 Subdivision be approved subject the following conditions:

1. A revised preliminary plat is submitted to the Planning Director with the revision mentioned in the staff comments. A draft copy of the covenants shall be included at this time.
2. All supplementary State permits (stormwater, erosion control, and NCDOT) shall be secured before construction activities can occur on the site. The two-year

preliminary approval period shall commence once all of these permits are secured and copies transmitted to Dare County.

3. The final plat and covenants should include a table and language restricting lot coverage to the amounts set forth in the NC state stormwater permit and that Dare County cannot waive this requirement.
4. The final plat and covenants should include language to address road maintenance by the owners until such time that the road is accepted into NCDOT secondary road system.
5. Conditions of the Fire Marshal memo dated January 24, 2024 shall be complied with.
6. Other Conditions as may be identified during this discussion.


Noah H Gillam

1/30/2024
Date



COUNTY OF DARE
 Department of Emergency Management
 Office of the Fire Marshal
 P.O. Box 1000, Manteo, North Carolina, 27954

Steven R. Kovacs, NC-CFI
 Deputy Emergency Manager/Fire Marshal

(252) 475-5750

To: Noah Gilliam, Planning Director
From: Steven R. Kovacs, Fire Marshal
Date: January 24, 2024
Re: Burnside Estates Subdivision

I have reviewed the submitted site plan and have the following comments:

- All roads shall be constructed of a material so to have an all-weather surface capable of carrying the imposed weight of fire apparatus of at least 75,000 pounds.
- All roads shall be maintained with the noted width of at least 20 feet and the clear height of 13-feet 6-inches, and an all-weather surface. This shall be noted on the final recorded plat.
- There shall be no parking allowed on the roads within the subdivision. Signs and surfacing markings shall be as specified by the Dare County Fire Marshal’s Office.
- The road length exceeds 150-feet and will require a turn around area for fire apparatus. This area must meet the requirements noted above and allow for a fire apparatus 40-foot in length to turn around. A cul-de-sac is noted on the plan to meet this requirement.
- There needs to be a fire hydrant within 400-feet of the structures along the travel path of the fire apparatus. The plan shows the location of the fire hydrant at the corner of lots 1 & 2.
- The needed water fire flow for the proposed subdivision at this time is 1,000 gallons per minute. This is based on a 20-foot separation as noted below. Dwellings not exceeding 2-stories in height which includes parking area underneath, as one story, and overall square footage of 4,800 square feet. Any changes to these conditions would change the needed fire flow requirements.
- *For 1- and 2-family dwellings not exceeding 2 stories in height, the following needed fire flows shall be used shall be based on distance between the two homes:*

DISTANCE BETWEEN BUILDINGS NEEDED FIRE FLOW

<i>More than 30 feet</i>	<i>500 gpm</i>
<i>21 – 30 feet</i>	<i>750 gpm</i>
<i>11 – 20 feet</i>	<i>1,000 gpm</i>
<i>0 – 10 feet</i>	<i>1,500 gpm</i>

For 1- and 2-family dwellings, exceeding the two-story height or with an effective area greater than 4,800 square feet the needed fire flow will be calculated the same as commercial projects.

- Documentation shall be provided prior to approval showing that the required fire flow can be obtained. A fire flow test will be required in coordination with the Fire Marshal’s Office. No additional homes are to be permitted until this test occurs.

- Need to note street names and addressing which must be approved by this office and coordinated with Dare County 911.
- All water lines servicing the fire hydrant, the fire hydrant, and basic road improvements with an all-weather driving surface must be installed and approved prior to the commencement of any home construction. Roads must remain clear during construction for emergency vehicle access.

** Please understand that approval of any documents in no way relieves the owner, the architect, the engineer, or the contractor from the responsibility of violations of governing codes and regulations not found by our office. When such violations are found they must be corrected.*



January 16, 2024

Dare County Planning Department
954 Marshall C. Collins Drive
Manteo, NC, 27954

ATTN: Noah Gillam, Planning Director

**RE: Burnside Estates Phase 3, 7-lot Major Subdivision
Preliminary Plat submittal for Planning Board**

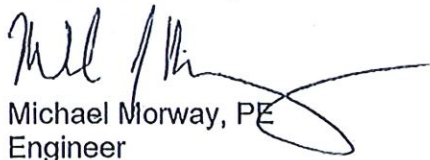
Dear Mr. Gillam:

Please find the attached submittal for Phase 3 of Burnside Estates. This major subdivision includes 7 lots and a short roadway (+/- 325') terminating in a cul-de-sac. The subdivision is being submitted for review by the Dare County Planning Board at their meeting on February 6th, 2024. The roadway is being designed to NCDOT standards and will seek to be accepted into the NCDOT system once qualified. I have coordinated with Steve Kovacs and we have included a fire hydrant at the requested location. We have submitted the waterline plan to the Dare County Water Department and have addressed comments from William Nash who has since approved the plan. We have also submitted the Street and Driveway Access application to NCDOT and are finalizing submittals for land disturbance and stormwater management to NCDEQ. This submittal includes:

- Major subdivision application fee (\$50/lot x 7 lots = \$350.00)
- Major Subdivision Plat (dated 1/5/2024) - 12 copies
- Roadway and permitting plans - 12 copies
 - C101 - Erosion and Sedimentation Control Plan (revised 1/16/2024)
 - C102 - Erosion and Sedimentation Control Notes and Details (revised 1/16/2024)
 - C301 - Stormwater Management Plan (revised 1/16/2024)
 - C701 - Roadway and Waterline Plan (revised 1/10/2024)
 - C702 - Waterline Details (revised 1/10/2024)

If you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,



Michael Morway, PE
Engineer

cc: File 08401D
Michael Davenport, Burnside Estates, LLC

Land Planning – Engineering – Environmental – Construction Management
P.O. Box 3989, 115 W. Saint Clair St., Kill Devil Hills, North Carolina 27948
North Carolina License No. C-1027
Phone: 252-441-2113 www.AlbemarleAssociates.com Fax: 252-441-0965

THRUST BLOCK DETAIL

NOT TO SCALE
 ENLARGED 7/32"/IN
 DETAIL NUMBER 11

PIPE SIZE (NOM. DIA. IN. ROUNDED)	7"	8"	10"	12"	14"	16"	20"	24"
TEE	1.8	1.5	2.8	1.5	4.7	1.5	7.5	8.5
PIPE END	1.5	1.5	2.8	1.5	4.5	1.5	6.5	7.5
PIPE END	1.5	1.5	2.8	1.5	4.5	1.5	6.5	7.5
22.1/2" RIND.	1.8	1.5	1.5	1.5	1.5	1.5	1.5	1.5

NOTE: ALL FITTINGS ARE TO BE ROUNDED PER THE SPECIFICATIONS.

FIRE HYDRANT ASSEMBLY

NOT TO SCALE
 ENLARGED 7/32"/IN
 DETAIL NUMBER 8

NOTES

- DO NOT SUPPORT VALVE BOX DIRECTLY ON VALVE.
- INSTALL SELECTIVE HYDRANT MARKING DEPENDENT WOOD MARK TWO-WAY BLUE REFLECTOR IN ACCORDANCE WITH THE CITY OF DARE COUNTY SPECIFICATIONS.
- A HYDRANT TEE MAY BE USED UNLESS IT PLACES THE HYDRANT VALVE IN A LOCATION THAT IS UNDESIRABLE. THE HYDRANT TEE SHALL BE SEPARATELY ROUNDED TO THE TEE WITH THE HYDRANT VALVE.
- HYDRANT TO BE ANCHORED BEST FOR 3.5' BURR (MINIMUM) WITH 2" VALVE SPACING AND 40# BARS. HYDRANT MUST BE IDENTIFIED BY CONTRACTOR AFTER INSTALLATION. PAINT WITH RUSTLEUM.

TAPPING DETAIL

NOT TO SCALE
 ENLARGED 7/32"/IN
 DETAIL NUMBER 7

NOTES

- THE VALVE SHALL BE EXPOSED IN THE PRESENCE OF A TAPPING SLEEVE ON EXTERIOR SIDE.
- THE TAPPING SHALL BE PERFORMED AT THE END OF THE TAPPING SLEEVE.
- THE TAPPING SHALL BE PERFORMED AT THE END OF THE TAPPING SLEEVE.

1" WATER SERVICE LATERAL

NOT TO SCALE
 ENLARGED 7/32"/IN
 DETAIL NUMBER 2

NOTES

- CONNECTION TO EXISTING AND METAL PLASTIC WATER BOX WITH DIRT IRON BENDER LID.
- CONNECTION TO EXISTING AND METAL PLASTIC WATER BOX WITH DIRT IRON BENDER LID.
- CONNECTION TO EXISTING AND METAL PLASTIC WATER BOX WITH DIRT IRON BENDER LID.

TRENCH DETAIL

NOT TO SCALE
 ENLARGED 7/32"/IN
 DETAIL NUMBER 16

NOTES

- ALL FITTINGS ARE TO BE ROUNDED PER THE SPECIFICATIONS.
- CONCRETE SHALL BE IDENTIFIED BY CONTRACTOR AFTER INSTALLATION. PAINT WITH RUSTLEUM.

VALVE MARKER DETAIL

NOT TO SCALE
 ENLARGED 7/32"/IN
 DETAIL NUMBER 15

NOTES

- VALVE MARKER SHALL BE IDENTIFIED BY CONTRACTOR AFTER INSTALLATION. PAINT WITH RUSTLEUM.
- VALVE MARKER SHALL BE IDENTIFIED BY CONTRACTOR AFTER INSTALLATION. PAINT WITH RUSTLEUM.

VALVE BOX DETAIL

NOT TO SCALE
 ENLARGED 7/32"/IN
 DETAIL NUMBER 14

NOTES

- VALVE BOX SHALL BE IDENTIFIED BY CONTRACTOR AFTER INSTALLATION. PAINT WITH RUSTLEUM.
- VALVE BOX SHALL BE IDENTIFIED BY CONTRACTOR AFTER INSTALLATION. PAINT WITH RUSTLEUM.

2" BLOW-OFF DETAIL

NOT TO SCALE
 ENLARGED 7/32"/IN
 DETAIL NUMBER 13

NOTES

- CONNECTION TO EXISTING AND METAL PLASTIC WATER BOX WITH DIRT IRON BENDER LID.
- CONNECTION TO EXISTING AND METAL PLASTIC WATER BOX WITH DIRT IRON BENDER LID.

SUBDIVISION FACTSHEET
Preliminary Plat Review – January 30, 2024

NAME: Edgecamp Estates Subdivision

LOCATION: Waves, NC

SITE SPECIFICS: Total site area: 15 acres

Number of proposed lots: 9 lots

Smallest lot area: 22,782 square feet

Site Zoning: S-1 zoning

STREETS:

New road improvements will be constructed. Eight of the proposed lots have frontage on NC 12. Some of the lots will share a common drive. Lot 9 is accessed from the existing roads of Wind Over Waves Subdivision, the adjacent subdivision recorded several years ago.

UTILITIES:

1. Water: Central water from Dare County
2. Sewer: Individual on-site septic tank/drainfield systems.
3. Stormwater: No state permit required, amount of land disturbance does not exceed state threshold.

STAFF COMMENTS

This subdivision was previously reviewed by the Planning in fall of 2018 and granted preliminary plat approval but the 12 month time frame expired prior to any improvements being installed and a final plat submitted.

Some of the lots will share common drives as noted on the plat. The use of common drives triggers the need for the plat to be reviewed by the Dare County Board of Commissioners for approval of the use of common drives. The use of common drives is proposed to decrease the number of curb cuts on NC 12. The common drives shall be installed to NCDOT standards and capable of supporting 75,000 pounds. The maintenance of the common drives shall be addressed in the homeowner's documents and noted on the final plat.

Lot 9 will be accessed from the existing roads of phase 3 of Wind Over Waves Subdivision. The developers of Edge Camp Estates are involved with Wind Over Waves Phase 3. It should be noted on the final plat that lot 9 will be connected to the central wastewater system of phase 3 of the Wind Over Waves subdivision.

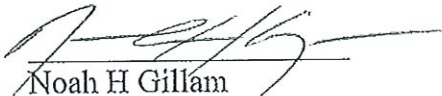
Lot 9 of the subdivision is the smallest lot shown on the preliminary plat, and is located on a small creek that connects to the Pamlico Sound. Before being sent to the Board of Commissioners for review an updated preliminary plat will be required with an up to date observed water level verification to ensure that this lot is buildable due to the CAMA 30'ft buffer and the applicable setbacks for the S-1 zoning district.

Lots 1-8 will need to have the observed water level verification updated at the time of final plat submittal. The observed water level will not have an effect on the buildable upland section of the parcels, but could affect the overall total parcel size for these lots if the shoreline has changed. These parcels are large parcels and the upland portion of the parcels far exceeds the 15,000 square foot minimum.

All lots have been delineated by the Army Corps of Engineers, and documentation provided to the Planning Department.

All conditions of the Dare County Fire Marshal memo dated January 24, 2024 and attached to this approval shall be complied with and approved by the fire marshal prior to submitting the final plat.

One condition of approval should be that no equipment or material is staged on the NC 12 pathway and if the pathway is damaged during construction of the common drives, then repairs to the pathway shall be made by the developer.


Noah H Gillam

1/30/2024
Date



COUNTY OF DARE
Department of Emergency Management
Office of the Fire Marshal
P.O. Box 1000, Manteo, North Carolina, 27954

Steven R. Kovacs, NC-CFI
Deputy Emergency Manager/Fire Marshal

(252) 475-5750

To: Noah Gillam, Planning Director
From: Steven R. Kovacs, Fire Marshal
Date: January 24, 2024
Re: Edgecamp Estates

I have reviewed the submitted site plan and have the following comments:

- Page 2 notes that they will be a common access for lots 1, 2, & 3. This access shall meet the road requirements below.
- All roads shall be constructed of a material so to have an all-weather surface capable of carrying the imposed weight of fire apparatus of at least 75,000 pounds.
- All roads shall be maintained with the noted width of at least 20 feet and the clear height of 13-feet 6-inches, and an all-weather surface. This shall be noted on the final recorded plat.
- There shall be no parking allowed on the roads within the subdivision. Signs and surfacing markings shall be as specified by the Dare County Fire Marshal's Office.
- If the road length exceeds 150-feet and a turn around area for fire apparatus could be required.
- There needs to be a fire hydrant within 400-feet of each structure along the travel path of the fire apparatus. Currently the plan does not show the location of the closest fire hydrant. Based on GIS review the distance to the closest fire hydrants exceeds the 400-foot requirement. Specifically, to lots 1, 2, 3, and potentially lot 7 depending on the placement of the driveway access. An additional fire hydrant(s) will be needed to satisfy this requirement. The fire hydrant installation must meet the design requirements of Dare County Water Department and approved prior to installation.
- The needed water fire flow for the proposed subdivision at this time cannot be determined with the information provided. Needed fire flow shall be based on ISO requirements noted below; parking under the house is considered a story.

For 1- and 2-family dwellings not exceeding 2 stories in height, the following needed fire flows shall be used shall be based on distance between the two homes:

DISTANCE BETWEEN BUILDINGS NEEDED FIRE FLOW

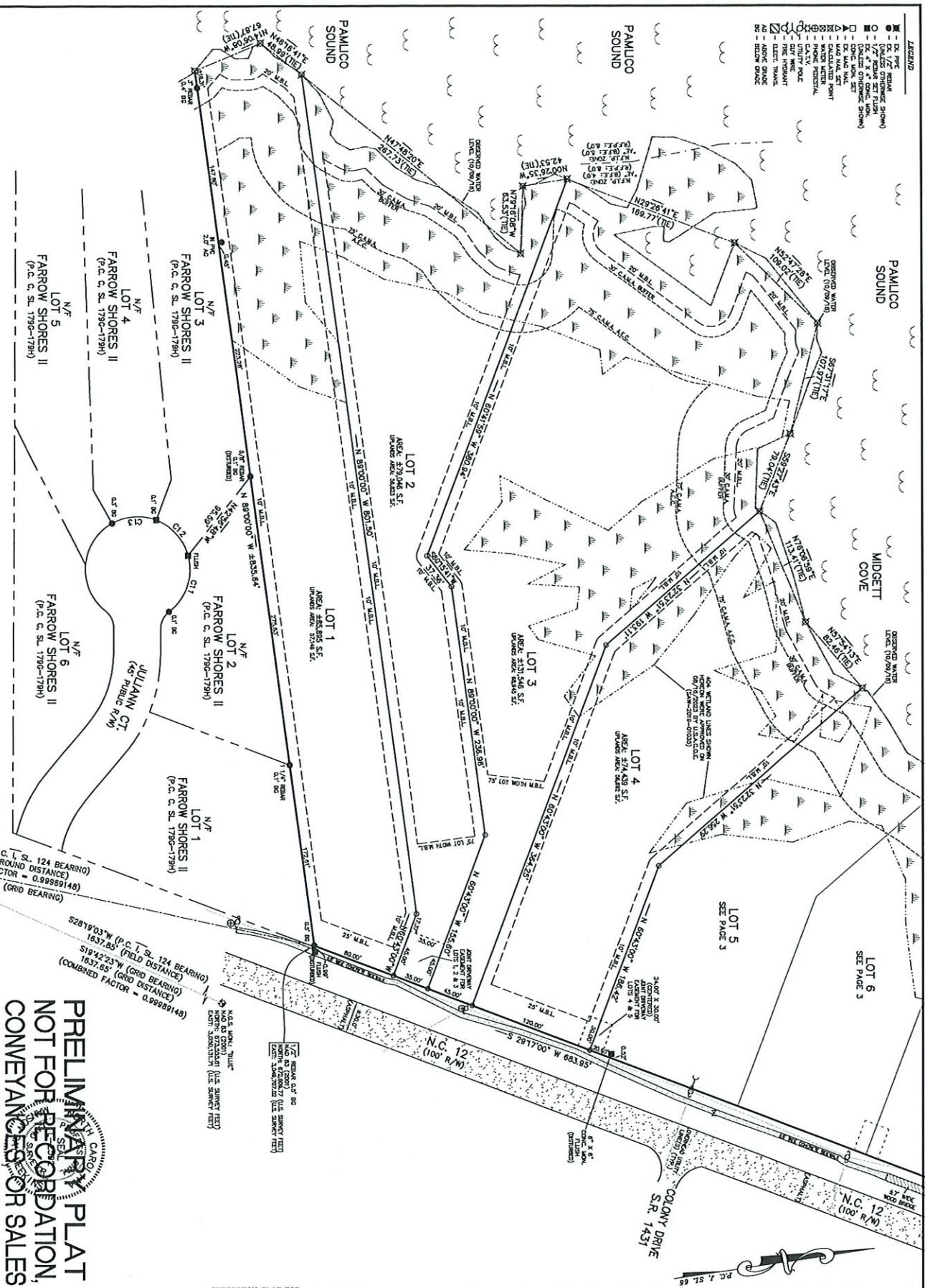
<i>More than 30 feet</i>	<i>500 gpm</i>
<i>21 – 30 feet</i>	<i>750 gpm</i>
<i>11 – 20 feet</i>	<i>1,000 gpm</i>
<i>0 – 10 feet</i>	<i>1,500 gpm</i>

For 1- and 2-family dwellings, exceeding the two-story height or with an effective area greater than 4,800 square feet the needed fire flow will be calculated the same as commercial projects.

- Need to obtain an updated flow test to determine the water flow present so it can be applied to this project which will determine the allowable construction within the subdivision.
- Need to note street names and addressing which must be approved by this office and coordinated with Dare County 911. Street address numbers shall be located on a post at the entrance of the driveways.
- All water lines for the fire hydrants and basic road improvements must be installed and approved prior to the commencement of any home construction. Roads must remain clear during construction for emergency vehicle access.

** Please understand that approval of any documents in no way relieves the owner, the architect, the engineer, or the contractor from the responsibility of violations of governing codes and regulations not found by our office. When such violations are found they must be corrected.*

- LEGEND**
- 1/2" DASHED LINE (SHOWS)
 - 1/4" DASHED LINE (SHOWS)
 - 3/16" DASHED LINE (SHOWS)
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 - 3/16" DASHED LINE (SHOWS)
.C. 12 (100' R/W)



CURVE TABLE

STATION	CHORD BEARING	CHORD DISTANCE	CHORD BEARING	CHORD DISTANCE
10+00	S 89°00'00" W	100.00	S 89°00'00" W	100.00
11+00	S 89°00'00" W	100.00	S 89°00'00" W	100.00
12+00	S 89°00'00" W	100.00	S 89°00'00" W	100.00
13+00	S 89°00'00" W	100.00	S 89°00'00" W	100.00
14+00	S 89°00'00" W	100.00	S 89°00'00" W	100.00
15+00	S 89°00'00" W	100.00	S 89°00'00" W	100.00
16+00	S 89°00'00" W	100.00	S 89°00'00" W	100.00
17+00	S 89°00'00" W	100.00	S 89°00'00" W	100.00
18+00	S 89°00'00" W	100.00	S 89°00'00" W	100.00
19+00	S 89°00'00" W	100.00	S 89°00'00" W	100.00
20+00	S 89°00'00" W	100.00	S 89°00'00" W	100.00



**PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES OR SALES**

GRAPHIC SCALE

SUBDIVISION PLAT FOR

EDGE CAMP ESTATES

RESIDUAL AREA & PORTION OF OPEN SPACE - "RECONCILIATION PLAT OF OPEN SPACE FOR WIND OYER WAVES, LLC" SALVO - KINNARET TOWNSHIP - DARE COUNTY - NORTH CAROLINA

Seaboard Surveying & Planning, Inc. C-1536
103 W. WOOD HILL DRIVE - UNIT F P.O. BOX 58 NILES HEAD, N.C. 27959 252-450-9999

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FILE NO.	2024-0308-018
DATE	10/09/24
DRAWN BY	01/08/24 TB
CHECKED BY	01/15/24 MMH
SCALE	1" = 60'
SHEET NO.	2
OF 4 SHEETS	

NO.	DATE	REVISIONS	BY

