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- C2 Site and Utility Plan
- C3 Grading and Drainage Plan
- C4 Landscape Plan
- C5 Lighting Plan
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- C7 Grading and Drainage Detail Plan
- C8 Landscape and Lighting Detail Plan

**INCIDENTAL DRAINAGE**

1. TEMPORARY DRAINAGE DURING CONSTRUCTION WILL BE PROVIDED BY THE OWNER/DEVELOPER/CONTRACTOR TO RELIEVE AREAS THAT MAY CAUSE DAMAGE TO ROADWAYS AND/OR ADJACENT PROPERTIES AS DIRECTED BY PLANNING/CIVIL INSPECTIONS.
2. THE PLANNING/CIVIL INSPECTOR WILL PERFORM AN ON-SITE INSPECTION OF STORM SEWER PIPE INSTALLATION PRIOR TO ANY BACKFILLING OF THE INSTALLED PIPE.
3. IF PRECAST DRAINAGE STRUCTURES ARE USED, SHOP DRAWINGS WILL BE SUBMITTED TO THE DESIGN ENGINEER BY THE OWNER/DEVELOPER/CONTRACTORS DESIGN CONSULTANT, ALONG WITH THE PROPER CERTIFICATIONS, UNLESS PREVIOUSLY APPROVED BY THE DARE COUNTY PLANNER.
4. ALL STORM SEWER PIPE JOINTS WILL BE INSTALLED, SILT FREE, OR WILL BE COMPLETELY WRAPPED WITH TWO FEET (2') WIDE APPROVED FILTER FABRIC, SECURED IN PLACE PRIOR TO BACKFILLING.

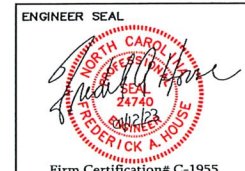
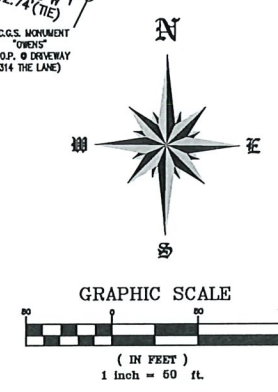
- LEGEND**
- EX. 2" OPEN PIPE
  - EX. 5/8" REBAR
  - 1/2" REBAR SET
  - EX. CONC. MON.
  - SET HUB & TACK
  - EX. MAG NAIL
  - MAG NAIL SET
  - CALCULATED POINT
  - WATER METER
  - PHONE PEDESTAL
  - C.A.T.V.
  - UTILITY POLE
  - GUY WIRE
  - FIRE HYDRANT
  - ELECT. TRANS.
  - AG - ABOVE GRADE
  - BG - BELOW GRADE
  - PL - PROPERTY LINE
  - M - WATER VALVE
  - ◆ - BENCHMARK

**LINE TABLE**

LINE	LENGTH	BEARING
L1	81.39	N89°58'00"W
L2	696.05	N22°45'00"W
L3	167.84	N89°24'00"E
L4	33.32	S77°22'00"E
L5	33.80	S80°15'00"E
L6	163.61	N111°42'00"W
L7	128.24	N22°39'59"W

**CURVE TABLE**

CURVE	RADIUS	DELTA	LENGTH	CHORD	CHD.BRG.
C1	611.24	51°29'13"	549.27	350.98	N89°28'53"E



**HOUSE ENGINEERING, P.C.**  
 Post Office Box 486 - 6475 N. Croatan Hwy, Suite 201  
 Kitty Hawk, North Carolina 27949  
 Office: (252) 261-8253 E-Mail: info@houseengineering.net

**APPROVALS**

Drawn	DATE
D. NEFF	01/12/23
Checked: R. HOUSE	01/12/23
Engineer: R. HOUSE	01/12/23

**REVISIONS**

No.	Date	Description

**Existing Condition and Cover Sheet**  
 For:  
**The Village at Old Wharf Road**  
 Location:  
**0 Old Wharf Road**  
 Parcel in Wanchese  
 Wanchese Dare County North Carolina

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226800	-	C1 OF 8

CAD FILENAME: 226800 SCALE: 1" = 50'-0"

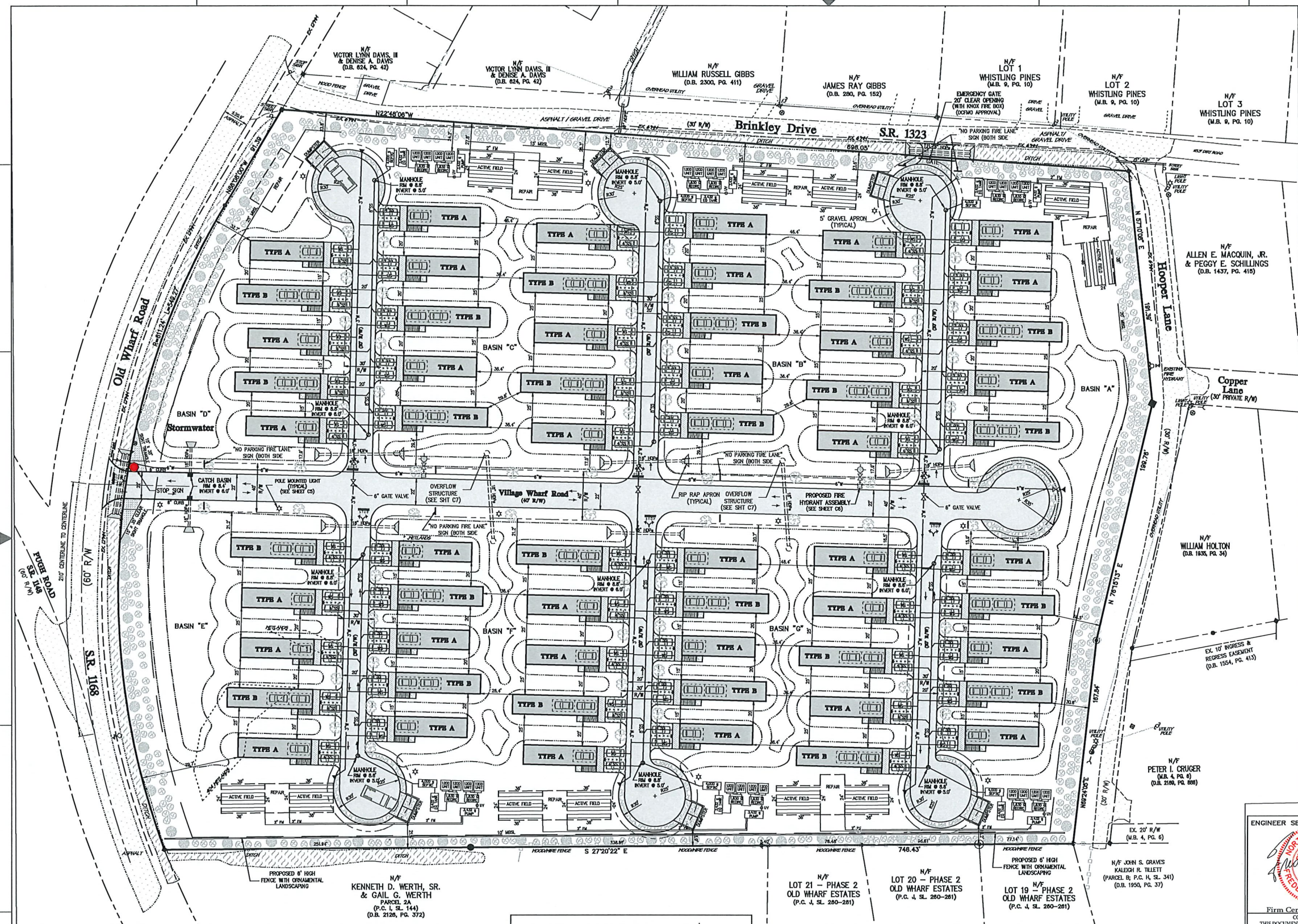


**GENERAL NOTES:**

- SUBJECT PROPERTY: PARCEL IN WANCHESE James and Yvonne Daughtry (Owners)
- STREET ADDRESS: 0 Old Wharf Rd Wanchese, NC 27981
- DEVELOPER: ARIA CONSTRUCTION AND DEVELOPMENT PO Box 321 Creswell, NC 27928
- PARCEL ID NUMBER: 025921000
- GLOBAL PIN: 17 979706 48 2784
- RECORDED REFERENCE: P.C. H, SL. 359; D.B. 245, PG. 801
- TOTAL PARCEL AREA: 458,715 SQ. FT. (10.53 AC.)
- PROPOSED DEVELOPMENT: (36) 2 BEDROOM RESIDENTIAL COTTAGE DWELLINGS (24) 3 BEDROOM RESIDENTIAL COTTAGE DWELLINGS (60) TOTAL RESIDENTIAL COTTAGE DWELLINGS (Single-Family) WOOD FRAME STRUCTURE ON PILINGS WITH CONCRETE PARKING AREA UNDERNEATH
- LOT COVERAGE: BUILDING and DECKS - 72,600 SQ. FT. VEHICULAR SURFACE - 55,954 SQ. FT. CONCRETE SURFACE - 1,500 SQ. FT. TOTAL COVERAGE 130,054 SQ. FT. 28.35%
- PARKING DATA: 60 UNITS @ 1 SPACE PER BEDROOM = 144 SPACES TOTAL SPACES REQUIRED = 144 SPACES TOTAL SPACES PROVIDED = 204 SPACES
- PARCEL ZONING: VR (WANCHESE VILLAGE RESIDENTIAL)
- BOUNDARY AND TOPO INFORMATION TAKEN FROM SEABOARD SURVEYING
- FLOOD ZONE "X" (R.F.P.E.: 8.0' MINIMUM)
- ALL WATER LINES FOR THE FIRE HYDRANTS AND BASIC ROAD IMPROVEMENTS MUST BE INSTALLED AND APPROVED PRIOR TO THE COMMENCEMENT OF ANY HOME CONSTRUCTION
- ALL ROADS SHALL BE CONSTRUCTED OF A MATERIAL TO HAVE AN ALL-WEATHER SURFACE CAPABLE OF CARRYING THE IMPOSED WEIGHT OF FIRE APPARATUS OF AT LEAST 75,000 POUNDS
- NO PARKING WILL BE ALLOWED ON ANY STREET. "NO PARKING FIRE LANE" SIGNS MUST BE POSTED ACCORDING TO DCFMO GUIDELINES.

**LEGEND:**

- PROPOSED DWELLING AREA
- PROPOSED VEHICLE CIRCULATION AREA
- PROPOSED CONCRETE AREA
- EXISTING ROAD SURFACE
- PROPOSED DECK
- PROPOSED VEHICULAR CIRCULATION AREA
- PROPOSED GRAVEL SURFACE
- PROPOSED PARKING SPACE (10'x20')
- PROPOSED WATER SERVICE LINE (SIZED BY DARE COUNTY WATER)
- PROPOSED WATER MAIN (SIZED BY DARE COUNTY WATER)
- PROPOSED WATER MAIN GATE VALVE
- PROPOSED STORM PIPE
- EXISTING WATERMAIN



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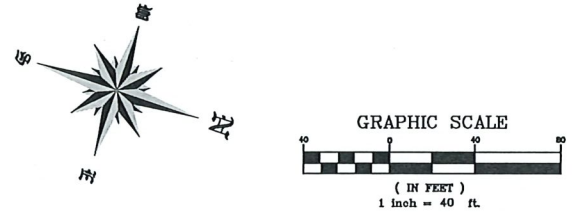
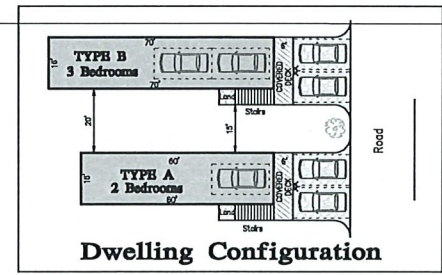
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**Site and Utility Plan**  
 For:  
**The Village at Old Wharf Road**  
 Location:  
**0 Old Wharf Road**  
 Parcel in Wanchese  
 Wanchese Dare County North Carolina

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226800	-	C2
CAD FILENAME: 226800			OF 8
SCALE: 1" = 40'-0"			

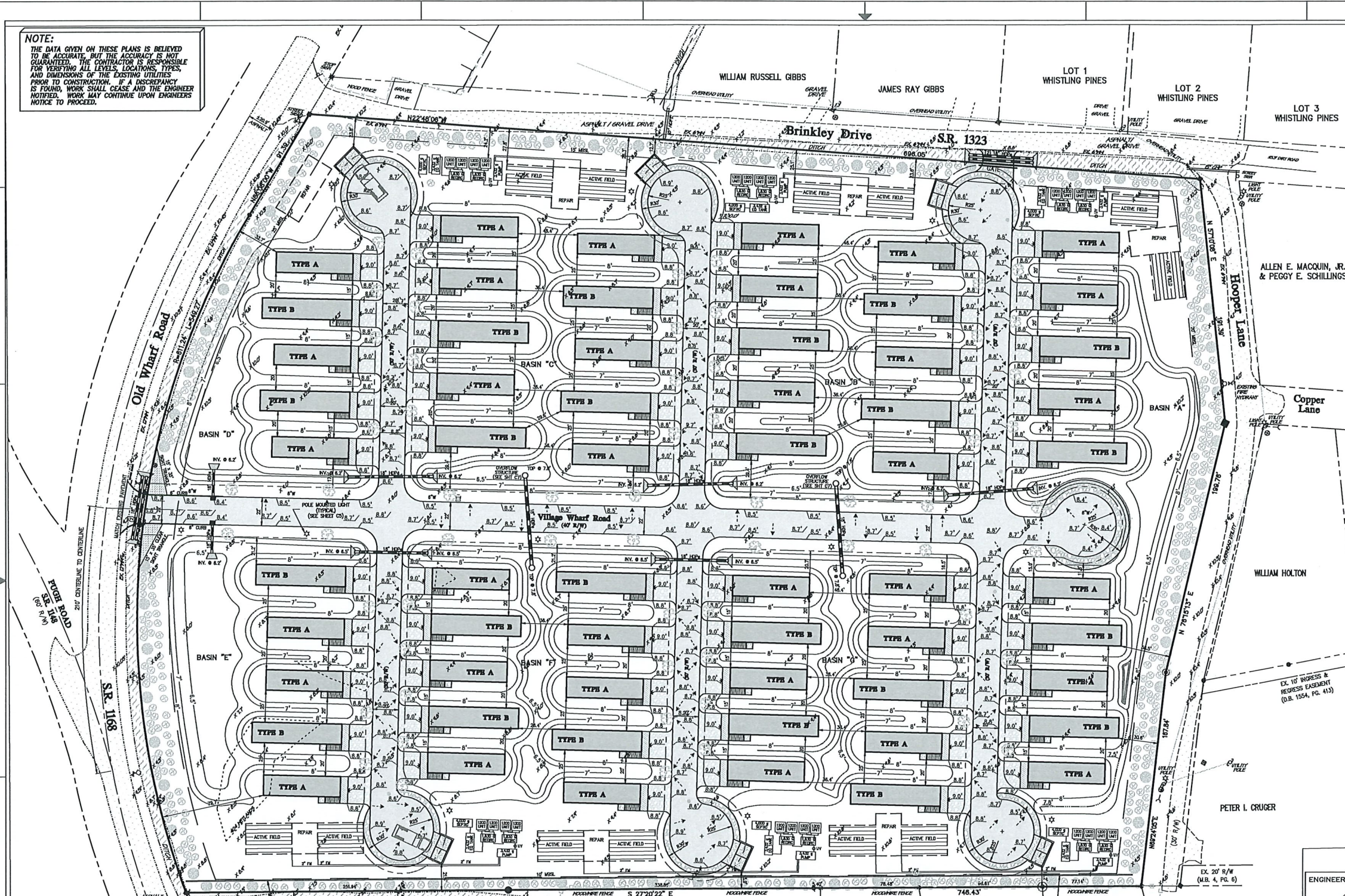
**BEFORE YOU DIG!**  
  
 WWW.nc811.ORG

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**LEGEND:**

- PROPOSED DWELLING AREA
- PROPOSED VEHICLE CIRCULATION AREA
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- EXISTING ROAD SURFACE
- PROPOSED DECK
- PROPOSED VEHICULAR CIRCULATION AREA
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- PROPOSED STONE BASE TURFSTONE
- PROPOSED CURB INLET / CATCH BASIN
- PROPOSED STORMWATER PIPE
- PROPOSED RUNOFF DIRECTIONAL ARROW
- PROPOSED FINISHED GRADE CONTOUR
- PROPOSED FINISHED SPOT GRADE
- EXISTING SPOT GRADE

**Stormwater Narrative**

**STORMWATER MANAGEMENT NARRATIVE**  
THE STORMWATER MANAGEMENT PLAN SHOWN HEREON HAS BEEN PREPARED TO ADDRESS STORMWATER MANAGEMENT ON THE SUBJECT PROPERTY.  
THE STORMWATER RUNOFF WILL BE MANAGED THROUGH PROPOSED ON SITE SHALLOW INFILTRATION SWALES AND OPEN LAWN AREAS.  
THE CALCULATIONS WILL SHOW THAT THE HIGHLY PERVIOUS SOILS, COUPLED WITH THE SHALLOW INFILTRATION SWALES ARE ADEQUATE TO RETAIN AND INFILTRATE THE STORMWATER GENERATED FROM THE DESIGN RAINFALL EVENT.  
PROJECT DESIGN SHALL UTILIZE LOW-IMPACT DEVELOPMENT PRINCIPLES AND BEST MANAGEMENT PRACTICES AS THE PRIMARY METHOD FOR THE TREATMENT OF STORMWATER.  
DESIGN STORM EVENT: 4.3 INCHES OF RAINFALL OVER A STORM EVENT  
TOTAL RUNOFF TO BE MANAGED FROM DESIGN STORM: IMPERVIOUS SURFACES:  
TOTAL IMPERVIOUS PROJECT COVERAGE - 130,054 SQ. FT.  
RATIONAL RUNOFF COEFFICIENT = C  
CONCRETE COEFFICIENT = 0.95  
ROOF INCLUDED COEFFICIENT = 1.0  
UNIMPROVED AREA COEFFICIENT = 0.35  
USE C = 1.00 AS COMPOSITE RUNOFF FACTOR  
TOTAL RUNOFF: PROJECT SITE: 130,054 SQ. FT. x 4.3/12 x 1.00 = 46,603 CU. FT.

**EXISTING SOIL DATA:**  
SOURCE: USDA, NATURAL RESOURCES CONSERVATION SERVICE, SOIL SURVEY  
SOIL TYPE: Ica - Ica-loamy fine sand, 0 to 2 percent slopes, rarely flooded  
DRAINAGE CLASS: POORLY  
SOIL TYPE: JoA - JoA-loamy sand, 0 to 2 percent slopes  
DRAINAGE CLASS: MODERATELY WELL  
SEASONAL HIGH WATER TABLE ELEVATION = 5.0' +/- MSL  
CALCULATE HOLDING CAPACITY FOR INFILTRATION BASINS:  
ASSUME SOIL INFILTRATION RATE = GREATER THAN 20 INCHES PER HOUR  
SOIL VOID RATIO = 20%  
ALL SIDE SLOPES 3:1 OR FLATTER

**Stormwater Storage Calculations**

**STORMWATER MANAGEMENT BASIN "A-G" (CONTINUOUS STORAGE)**

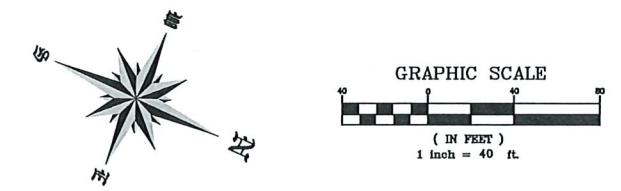
**BASIN DATA**  
TOP ELEVATION = 8.0'  
TOP AREA = 103,239 SQ. FT.  
BOTTOM ELEVATION = 6.5'  
BOTTOM AREA = 17,162 SQ. FT.  
CALCULATE OPEN VOLUME IN BASIN  
V1 = OPEN VOLUME = (TOP AREA + BOTTOM AREA) X DEPTH OF BASIN  
V1 = OPEN VOLUME = (103,239 + 17,162) X 1.5 = 90,300 CU. FT.  
V1 = OPEN VOLUME = 90,300 CU. FT.  
TOTAL STORAGE IN SWALE AND UNDERLYING SOILS  
TOTAL STORAGE PROVIDED = 90,300 CU. FT.  
TOTAL STORAGE REQUIRED = 46,603 CU. FT.

**CALCULATION SUMMARY:**  
ADDITIONAL STORMWATER STORAGE IS AVAILABLE IN DRY GRASS INFILTRATION SWALES. A DESIGN VOLUME REDUCTION FOR DRY GRASS SWALE, WHOSE LESSER VOLUME STORAGE IS NOT INCLUDED IN THE ABOVE CALCULATIONS AND WILL RESULT IN ADDITIONAL STORMWATER MANAGEMENT CAPACITY.  
SWALES REMOVE POLLUTANTS FROM STORMWATER BY INFILTRATION, SETTLING, AND INFILTRATION. SWALES SWALE FILTER POLLUTANTS AS STORMWATER SLOWS THROUGH THE GRASS. BY REDUCING FLOW VELOCITIES AND INCREASING A SITE'S TIME OF CONCENTRATION, SWALES CONTRIBUTE TO REDUCING RUNOFF PEAKS. GRASS SWALES THAT ARE DESIGNED WITH INCORPORATED DETENTION STORAGE PROMOTE INFILTRATION AND CAN HELP CONTRIBUTE TO SATISFYING A SITE RAINFALL CAPTURE STORAGE REQUIREMENT.

**GENERAL NOTES:**

- \* SUBJECT PROPERTY: PARCEL IN WANCHESE WANCHESE NC 27981
- \* STREET ADDRESS: 0 Old Wharf Rd Wanchese, NC 27981
- \* PARCEL ID NUMBER: 025921000
- \* GLOBAL PIN: 17 979706 48 2784
- \* RECORDED REFERENCE: P.C. H, S.L. 359; D.B. 245, PG. 801
- \* TOTAL PARCEL AREA: 458,715 SQ. FT. (10.53 AC.)
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- \* PARCEL ZONING: TOTAL COVERAGE 130,054 SQ. FT. 28.35% VR (WANCHESE VILLAGE RESIDENTIAL)
- \* BOUNDARY AND TOPO INFORMATION TAKEN FROM SEABOARD SURVEYING

LOT 21 - PHASE 2 OLD WHARF ESTATES  
LOT 20 - PHASE 2 OLD WHARF ESTATES  
LOT 19 - PHASE 2 OLD WHARF ESTATES



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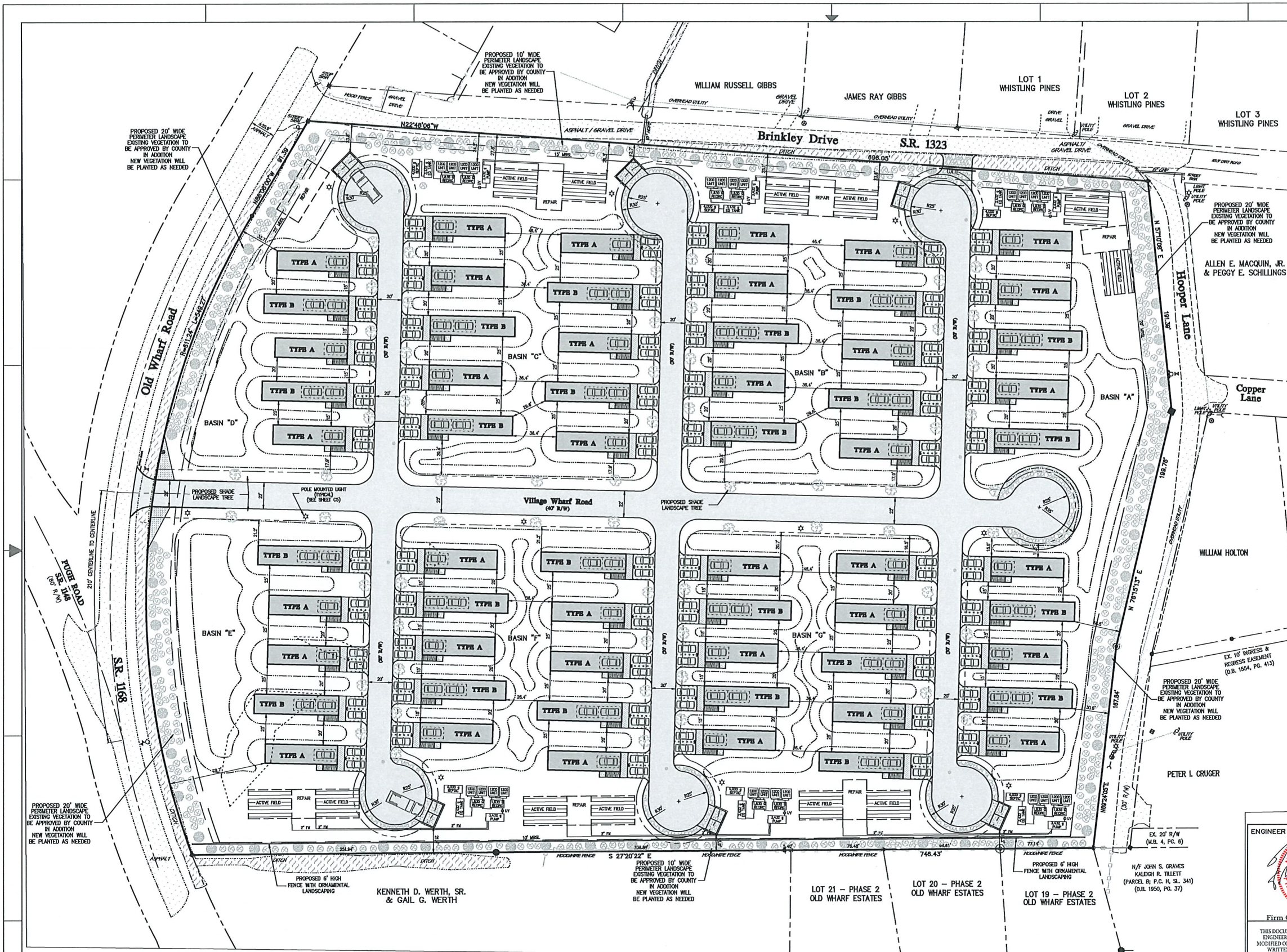
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**Grading and Drainage**  
For:  
**The Village at Old Wharf Road**  
Location:  
**0 Old Wharf Road**  
Parcel in Wanchese

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226800	-	C3 OF 8

CAD FILENAME: 226800 SCALE 1" = 40'-0"





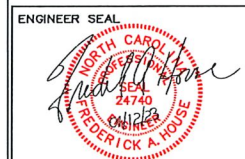
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- GENERAL NOTES:**
- SUBJECT PROPERTY: PARCEL IN WANCHESE WANCHESE NC 27981
  - STREET ADDRESS: 0 Old Wharf Rd Wanchese, Nc 27981
  - PARCEL ID NUMBER: 025921000
  - GLOBAL PIN: 979706482784
  - RECORDED REFERENCE: P.C. H. SL. 359; D.B. 245, PG. 801
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  - PARCEL ZONING: VR (WANCHESE VILLAGE RESIDENTIAL)
  - BOUNDARY AND TOPO INFORMATION TAKEN FROM SEABOARD SURVEYING

**LANDSCAPE LEGEND:**

COMMON NAME	HEIGHT	SPREAD	SCIENTIFIC NAME	QUANTITY	SYMBOL
FLOWERING DOGWOODS	10' - 25'	20' - 30'	Cornus florida	60	
GRAPE MYRTLE	10' - 30'	6' - 15'	Loganostroma Indica	95	
JAPANESE PRIVET	6' - 12'	3' - 8'	Ligustrum japonicum	532	



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**Landscaping Plan**  
 For:  
**The Village at Old Wharf Road**  
 Location:  
**0 Old Wharf Road**  
 Parcel in Wanchese  
 Wanchese Dare County North Carolina

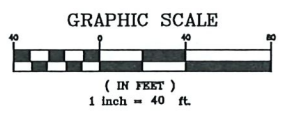
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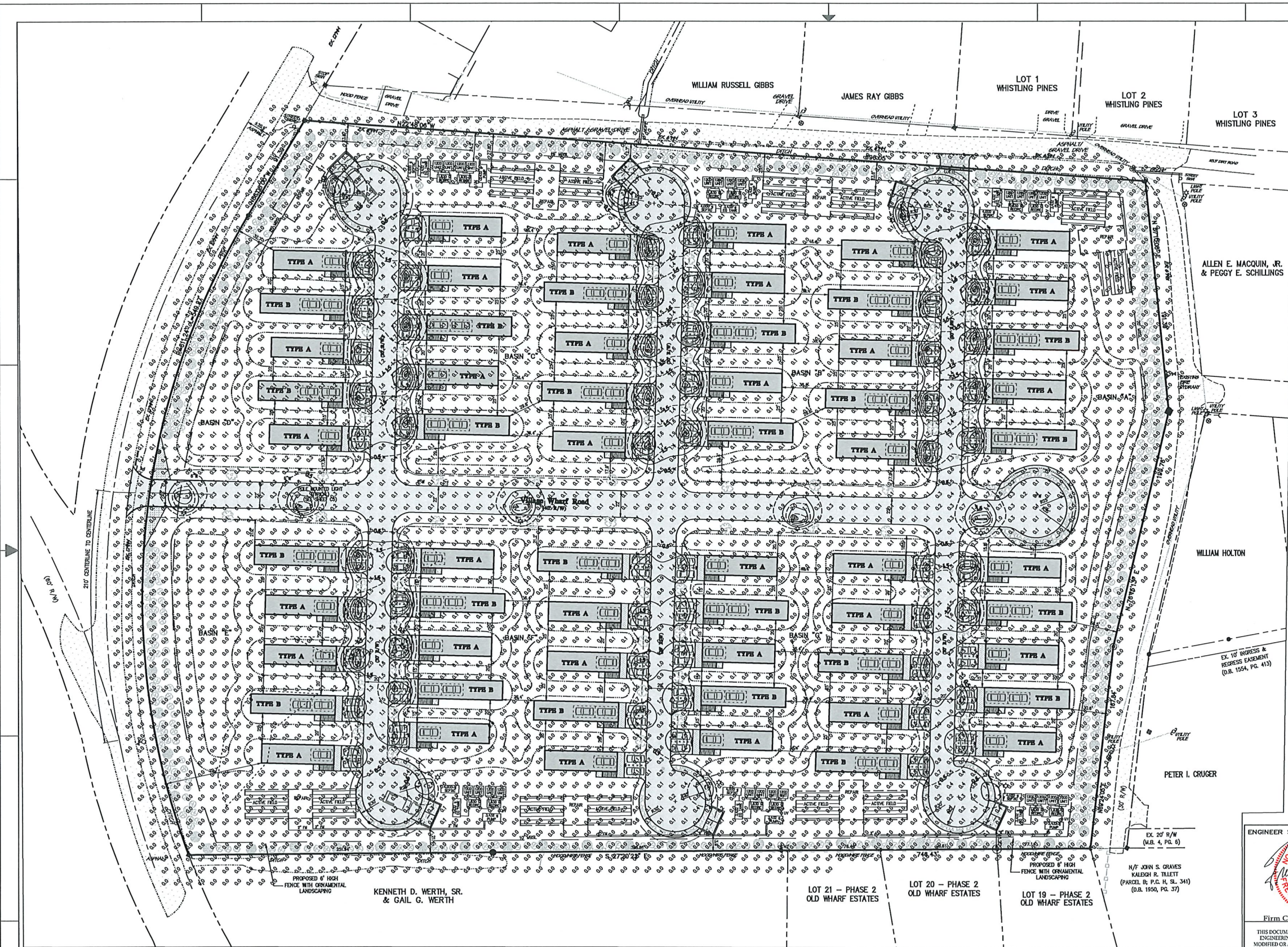
**BEFORE YOU DIG!**



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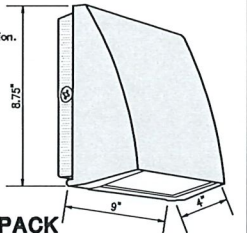




- LEGEND:**
- PROPOSED DWELLING AREA
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  - PROPOSED CONCRETE AREA
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  - PROPOSED FINISHED GRADE CONTOUR
  - PROPOSED FINISHED SPOT GRADE
  - EXISTING SPOT GRADE

- LIGHTING LEGEND**
- PROPOSED POLE LIGHT  
RAB LIGHTING (MODEL: ALEDDC52)  
RAB STEEL POLE (MODEL: PS4-07-2502)  
(OR APPROVED EQUAL)  
MOUNTING HEIGHT @ 15'  
(SEE DETAIL SHIT C8)
  - PROPOSED WALL PACK LIGHT  
RAB LIGHTING (MODEL: ALEDDC52)  
(OR APPROVED EQUAL)  
MOUNTING HEIGHT @ 15'  
(SEE DETAIL SHIT C8)
  - PHOTOMETRIC ILLUMINATION SPOT NUMBER
  - PHOTOMETRIC ILLUMINATION CONTOURS  
APPROVED BY TOWN OF KILL DEVIL HILLS

- Mounting:  
Die-cast back box with four (4) conduit entry points and knockout pattern for junction box or direct wall mounting. Hinged housing and bubble level for easy installation.
- Full Cutoff:  
Full cutoff meets dark-sky requirements
- Recommended Mounting Height:  
Up to 20 ft
- RAB 12 Watt SLIM Wallpacks are designed to cover the footprint of most traditional wallpacks. They are suitable for mounting heights from 15' to 30'. These ultra-high efficiency fixtures are full cutoff

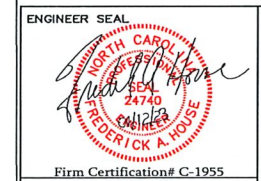
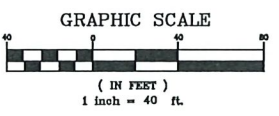


**RAB SLIM POLE AND WALLPACK (MODEL# SLIM12N)**  
NOT TO SCALE

**BEFORE YOU DIG!**



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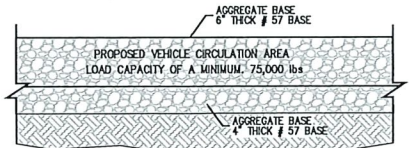
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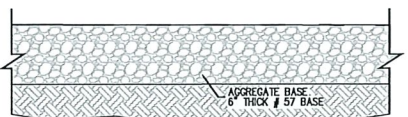
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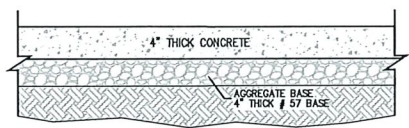




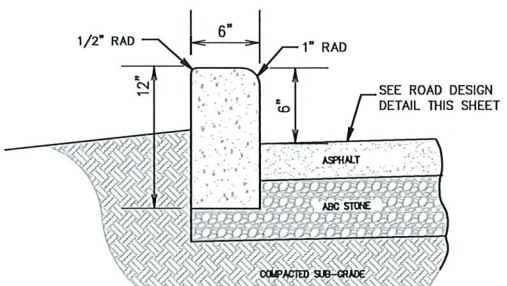
**STONE BASE  
VEHICULAR CIRCULATION AREA**  
N.T.S.



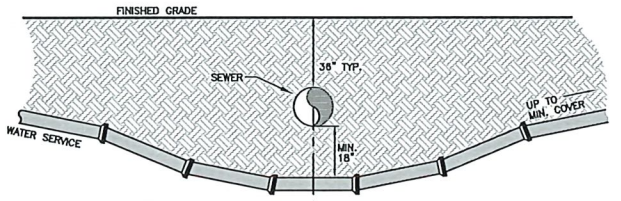
**STONE BASE  
PARKING AREA**  
N.T.S.



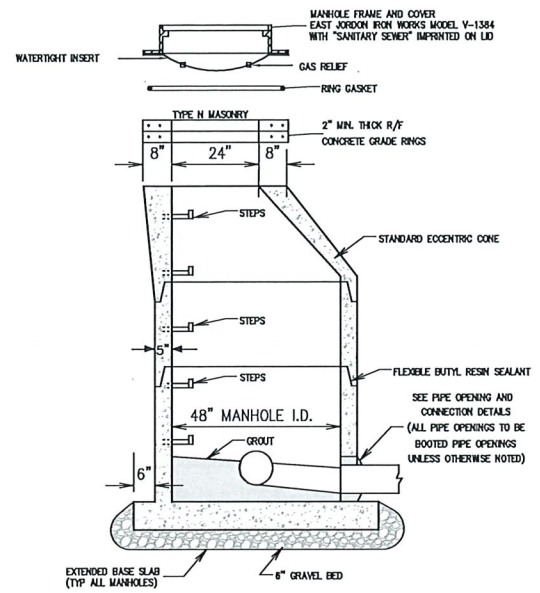
**STONE BASE  
CONCRETE PARKING AREA**  
N.T.S.



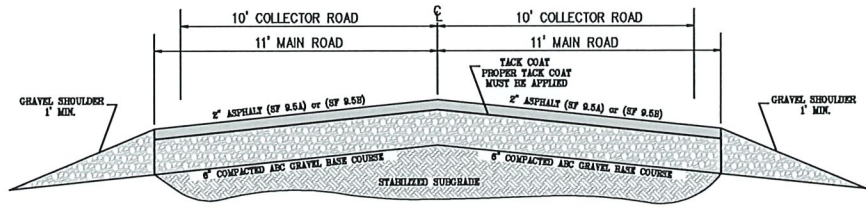
**VERTICAL CURB DETAIL**  
N.T.S.



**UTILITY CROSSING - DEFLECTION**  
N.T.S.

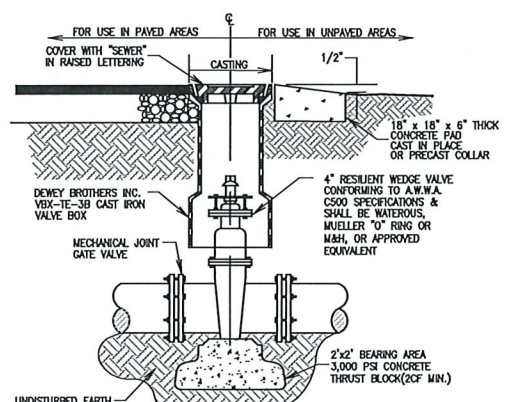


**STANDARD PRECAST CONCRETE MANHOLE**  
NO SCALE

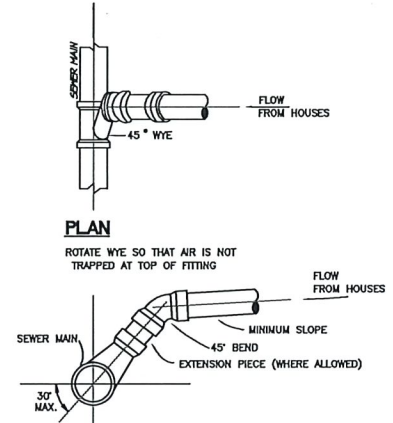


**PAVEMENT DESIGN MEETS THE REQUIREMENTS OF THE MINIMUM DESIGN AND CONSTRUCTION STANDARDS OUTLINED IN THE NCDOT SUBDIVISION MANUAL ROAD DESIGN AT FINISHED DEVELOPMENT**  
NO SCALE

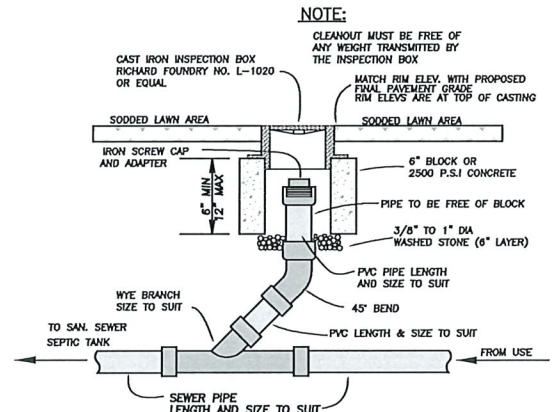
**Fire Apparatus Access**  
Roadways and driveway driving surfaces shall be designed and constructed with an all weather driving surface. This surface shall consist of compacted 6" ABC and a 2" asphalt top coat. Material shall be such that it has a load capacity of min. 75,000 lbs.



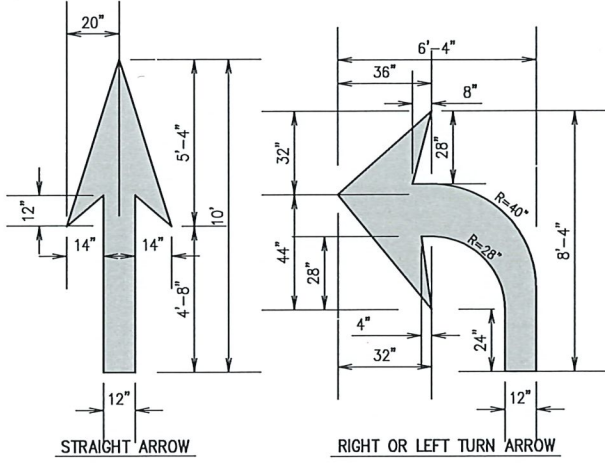
**VALVE BOX ASSEMBLY**  
N.T.S.



**SERVICE CONNECTION**  
N.T.S.  
(or APPROVED EQUAL)



**SEWER CLEAN-OUT**  
N.T.S.



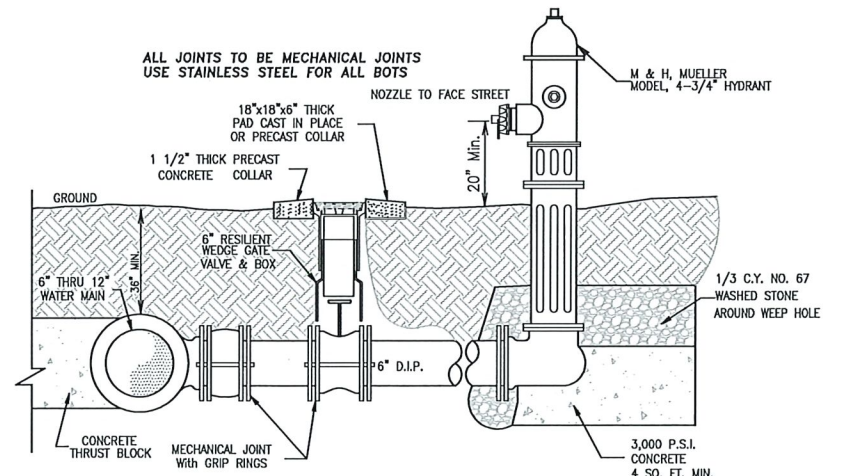
-ALL PAVEMENT MARKING SYMBOLS SHALL BE WHITE IN COLOR. PAVEMENT MARKING SYMBOLS SHALL NOT BE LOCATED AS TO ENDOACH INTO INTERSECTION AREAS.  
-ON CONCRETE PAVEMENTS, PAVEMENT MARKING SYMBOLS SHALL NOT BE PLACED ACROSS TRANSVERSE EXPANSION JOINTS, UNLESS APPROVED BY THE ENGINEER.  
-ALL SYMBOLS SHALL CONFORM TO THE FHWA "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" REFER TO SHEET 4 THRU 7). SYMBOL DIMENSIONS MAY VARY ALONG MANUFACTURERS, THEREFORE SLIGHT VARIANCES ARE ACCEPTABLE, HOWEVER, ALL SYMBOLS ARE REQUIRED TO BE APPROVED BY THE DEPARTMENT.

**PAVEMENT MARKING-ARROW SYMBOLS**  
N.T.S.



\* ALL SIGN TYPES AND LOCATION AS PER DCFMO REQUIREMENT

**FIRE LANE SIGNAGE**  
N.T.S.



**TYPICAL FIRE HYDRANT ASSEMBLY**  
N.T.S.  
AS PER DARE COUNTY FIRE MARSHAL



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APPROVALS		DATE
Drawn: D. NEFF		01/12/23
Checked: R. HOUSE		01/12/23
Engineer: R. HOUSE		01/12/23

REVISIONS		
No.	Date	Description

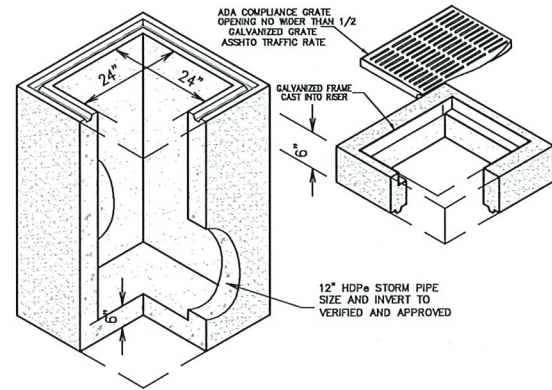
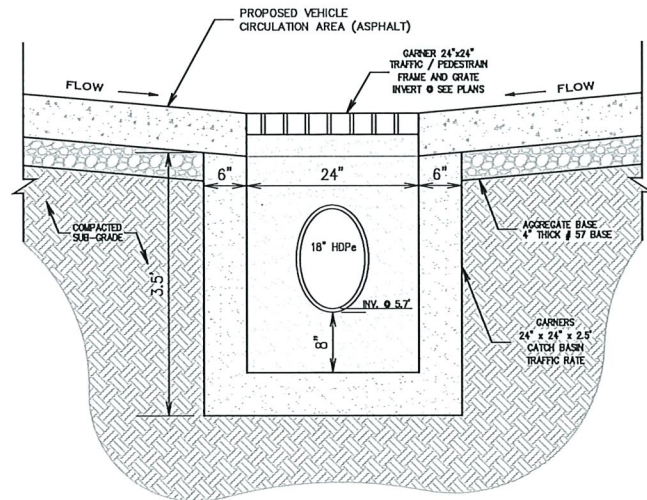
**HOUSE ENGINEERING, P.C.**  
Post Office Box 488 - 8475 N. Croatan Hwy, Suite 201  
Kitty Hawk, North Carolina 27949  
Office: (252) 261-8253 E-Mail: info@houseengineering.net

**Site and Utility Detail Plan**  
For:  
**The Village at Old Wharf Road**  
Location:  
**0 West Martin Street**  
Parcel in Kill Devil Hills

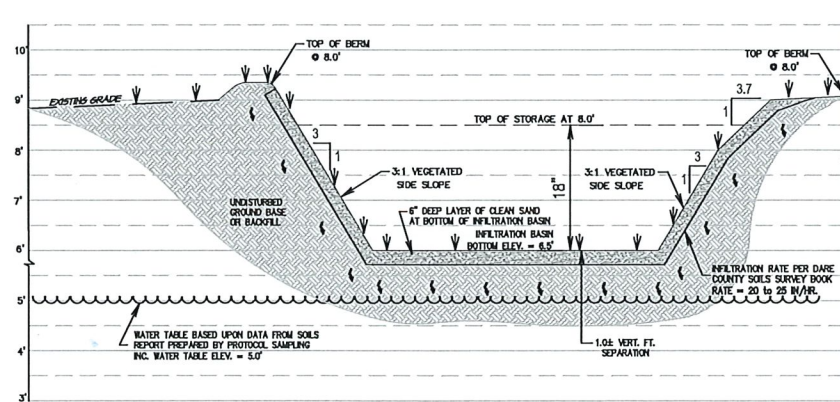
SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226800	-	C6 OF 8

CAD FILENAME: 226800 SCALE: 1" = 40'-0"

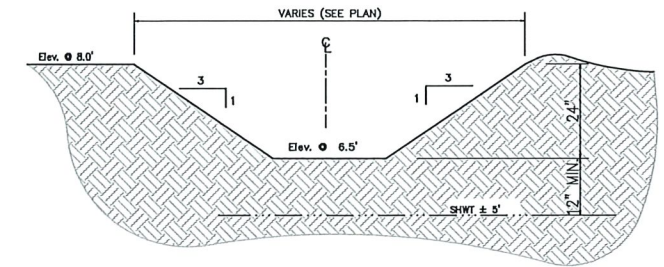




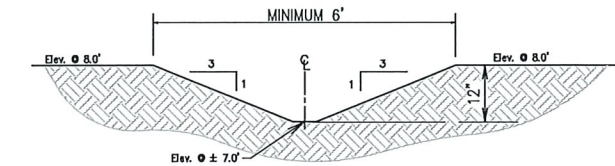
**GARNER 24' x 24' x 2.5' STORM INLET BOX DETAIL**  
N.T.S.



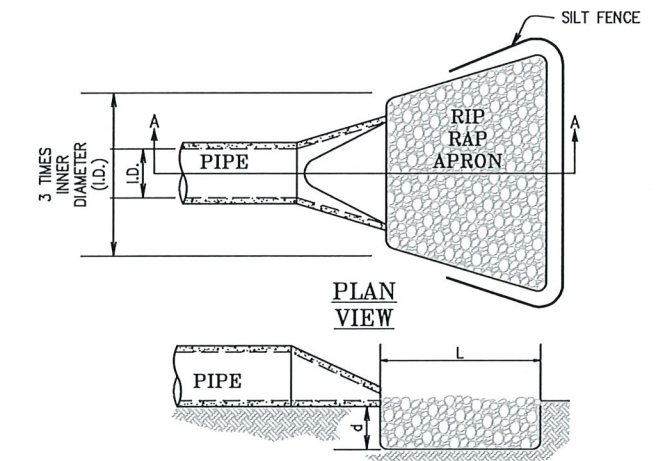
**SECTION "A" - "A" "BMP" INFILTRATION BASIN**  
N.T.S.



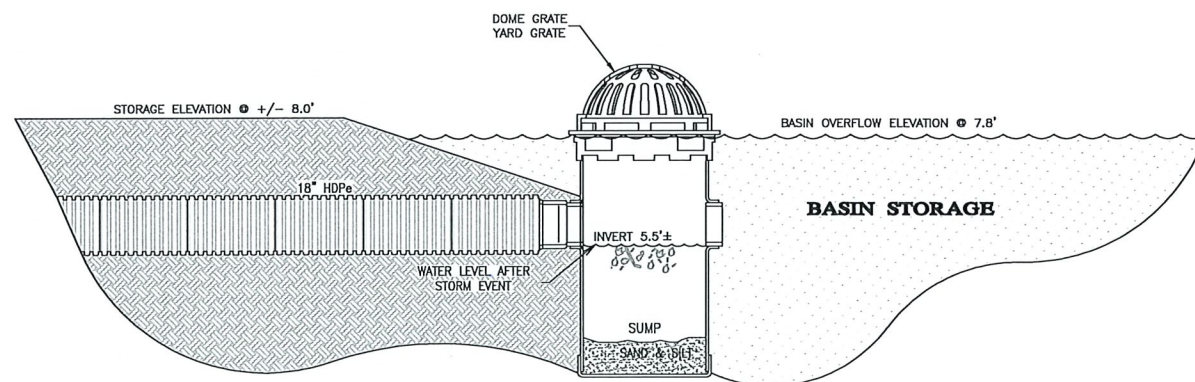
**Typical Basin Detail**  
N.T.S.



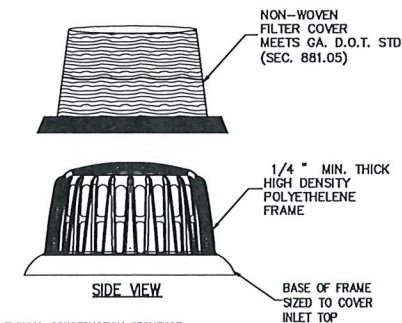
**Overflow Diversion Grass Swale Detail**  
N.T.S.



**PIPE OUTLET PROTECTION**  
N.T.S.



**Overflow Structure with Dome Grate**  
N.T.S.



- TYPICAL CONSTRUCTION SEQUENCE FOR SILT-SAVER FRAME & FILTER ASSEMBLY**
1. EXCAVATE APPROXIMATELY 4" TO 6" BELOW THE TOP OF THE INLET STRUCTURE.
  2. PLACE THE FRAME ONTO THE INLET STRUCTURE, ENSURE THE FRAME COVERS STRUCTURE COMPLETELY.
  3. PLACE THE FILTER OVER THE FRAME.
  4. FILL THE FILTER POCKETS WITH SOIL, #57 GRAVEL OR EQUAL. THE FILTER POCKETS SHOULD BE COMPLETELY FILLED TO A GOOD SEAL BETWEEN THE GROUND AND THE INLET STRUCTURE.
  5. BACKFILL AROUND THE FRAME AND FILTER ASSEMBLY IS NOT REQUIRED TO COMPLETE INSTALLATION. HOWEVER BACKFILLING MAY BE NECESSARY TO COMPLETE EXCAVATION REQUIREMENTS FOR THE SITE.

ENGINEER SEAL

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APPROVALS	DATE
Drawn: D. NEFF	01/12/23
Checked: R. HOUSE	01/12/23
Engineer: R. HOUSE	01/12/23

REVISIONS		
No.	Date	Description

**HOUSE ENGINEERING, P.C.**

Post Office Box 488 - 6475 N. Croatan Hwy, Suite 201  
Kitty Hawk North Carolina 27749  
Office# (252) 261-6253 E-Mail: info@houseengineering.net

**Grading and Drainage Detail Plan**

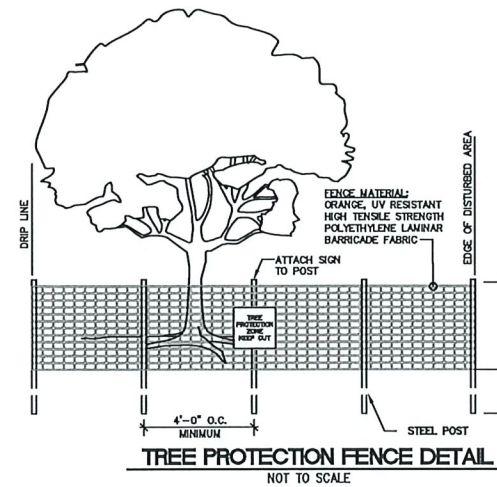
For:  
**The Village at Old Wharf Road**  
Location:  
**0 West Martin Street**  
Parcel in Kill Devil Hills

Kill Devil Hills Dare County North Carolina

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226800	-	C7 OF 8

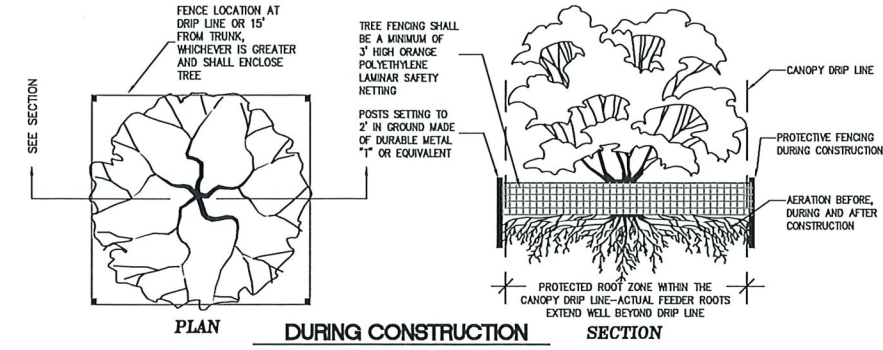
CAD FILENAME: 226800 SCALE: 1" = 40'-0"





- NOTES**
1. INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  2. PLACE TREE PROTECTION FENCE SIGN. SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: "TREE PROTECTION ZONE, KEEP OUT."
  3. THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
  4. TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

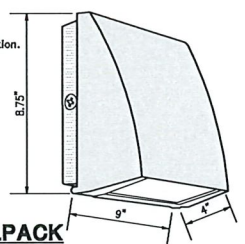
**TREE PROTECTION FENCE DETAIL**  
NOT TO SCALE



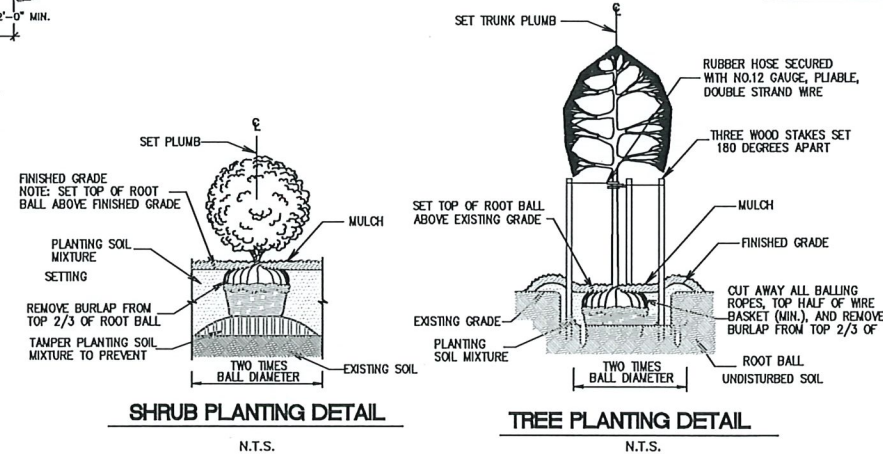
**ROOT ZONE and DRIP LINE PROTECTION**  
NOT TO SCALE

- LANDSCAPE NOTES**
1. Landscape areas shall be properly maintained. The owner shall be notified in writing by the zoning official of the town of any areas which are not being properly maintained, and the owner shall, within 15 calendar days of receipt of the notice, restore the landscaped area to a satisfactory condition, meet the requirements of this code.
  2. Landscaping shall not be considered to be complete until after 90 days of healthy growth. Contractor shall be responsible to replace all unhealthy or dead landscaping. Contractor shall remain responsible for all replaced landscape with the 90 day healthy growth requirement. Being applicable to all replaced landscaping.
  3. Dig planting hole no deeper than the root ball height. Excavate hole 2-3 times the width of the root ball diameter.
  4. Roughen the sides of the planting hole, before placing the tree in the planting hole, prune only dead or broken branches and remove any tree wrap, top, string, and tags from tree trunk and branches.
  5. Gently lower the tree into the hole so that the trunk flare is at or slightly above the original grade.
  6. Backfill 1/3 of the planting hole with original soil to stabilize root ball and keep tree upright.
  7. Cut and remove top 2/3 of the wire basket. Cut and remove top 2/3 of the burlap from completely backfill hole with original soil and add soil amendment if needed.
  8. Create a mulch ring around the tree and a 3-6" high soil and mulch berm at the edge of the hole. Keep mulch away from the trunk.
  9. Contractor shall be responsible for all plant counts and square footage. If any part of this plan can not be followed due to site conditions contact owner/team prior to commencing work.
  10. All trees in rows to be aligned unless shown otherwise.
  11. Plant all trees a minimum of 2 feet from any drain lines. The Landscape contractor shall verify the location of all drain lines prior to commencing work.
  12. Trees are to be a minimum of 3 1/2 feet away from any hardscape such as curbs, walls, parking stalls, etc.
  13. Prior to any excavating to any landscaping purposes, the location of all under ground utilities shall be determined.
  14. Grass and ground cover. Ground cover shall be placed or planted on all disturbed portions of exposed ground or earth not occupied by natural or other landscape material.
  15. All dumpsters shall be screened on three sides by a fence. The screening shall exceed the height of the intended container by 12 inches. The opening for the removal of trash pickup shall allow for a clearance of 12 inches on each side of the container and 24 inches at the rear of the container. Design shall be approved by the Department of Public Services, Public Works Division.
  16. Any existing natural landscape shall be preserved whenever possible. Existing natural landscape that meets minimum requirements may be credited toward the proposed landscape requirements.
  17. Where a vegetative screen is required between two incompatible uses, the perimeter landscape area shall contain one shrub, at least 30 inches high planted 2 1/2 feet on center. The type of shrub used needs to be capable of attaining a height of at least 6 feet at maturity. Plant materials and/or planters shall be installed so as to screen the parking areas from adjacent properties and streets.
  18. Within the sight triangle, no plant material, signage or any other obstruction shall interfere with an individual's vehicle sight line. No plant material shall exceed 30 inches in height at maturity; trees shall be trimmed so that branches are at least seven feet above curb level.
  19. Plants shall be sufficiently sized to ensure screening within three years. Where a vegetative screen is required, plant materials shall be sufficiently sized as practicable to ensure obscuring within three years. Seeding plants may be used where berms or structures are required or where the proposed use is contiguous to a street or vacant land that does not have proposed development in the review process.

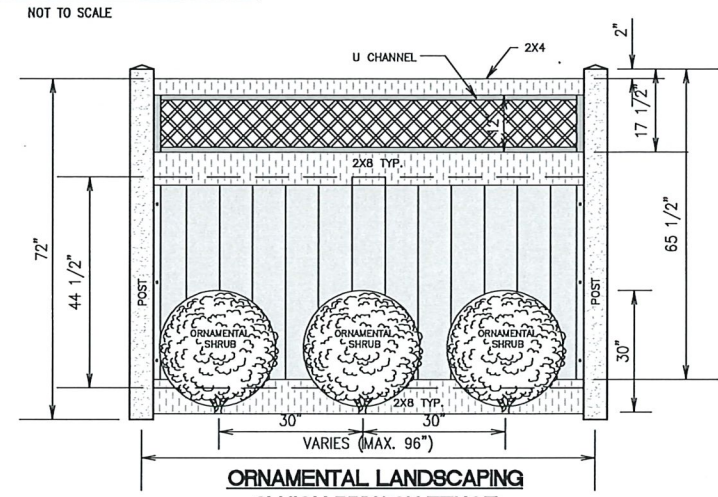
- Mounting: Die-cast back box with four (4) conduit entry points and knockout pattern for junction box or direct wall mounting. Hinged housing and bubble level for easy installation.
- Full Cutoff: Full cutoff meets dark-sky requirements
- Recommended Mounting Height: Up to 20 ft
- RAB 12, Watt SLIM Wallpacks are designed to cover the footprint of most traditional wallpacks. They are suitable for mounting heights from 15' to 30'. These ultra-high efficiency fixtures are full cutoff



**RAB SLIM POLE AND WALLPACK (MODEL# SLIM12N)**  
NOT TO SCALE



**SHRUB PLANTING DETAIL** N.T.S.  
**TREE PLANTING DETAIL** N.T.S.



**ORNAMENTAL LANDSCAPING 6' HIGH PRIVACY FENCE**  
OR APPROVED EQUAL  
NO SCALE

**WPLED52**

**Project:** \_\_\_\_\_ **Type:** \_\_\_\_\_  
**Prepared By:** \_\_\_\_\_ **Date:** \_\_\_\_\_

Driver Info		LED Info	
Type:	Constant Current	Watts:	52W
120V:	0.51A	Color Temp:	5000K
208V:	0.33A	Color Accuracy:	73 CRI
240V:	0.28A	L70 Lifetime:	100,000
277V:	0.24A	Lumens:	7122
Input Watts:	59W	Efficiency:	121 LPW
Efficiency:	89%		

**Technical Specifications**

**Listings:** THD: 6.5% at 120V, 7.8% at 277V  
UL Listing: Suitable for wet locations.  
**DLC Listed:** 99.3% at 120V, 97.2% at 277V  
This product is on the Design Lights Consortium (DLC) Qualified Product List and is eligible for rebates from DLC Member Utilities.  
DLC Product Code: P0000173W

**IESNA LM-79 & IESNA LM-80 Testing:** RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" book.

**LED Characteristics:** Lifespan: 100,000 hour LED lifespan based on IES LM-80 reports and TM-21 calculations.  
**LEDs:** Two (2) multi-chip, high-output, long-life LEDs.  
**Color Consistency:** 7-step MacAdam Ellipse binning to achieve consistent full-beam color.  
**Color Stability:** LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.  
**Color Uniformity:** RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (ESL) Products, ANSI C78.377-2017.

**Electrical:** Drivers: Two drivers, constant current, 720mA, Class 2, 100-277V, 60-60 Hz, 100-277VAC, 8 Amps.

**Reflector:** Specular vacuum-metallized polycarbonate  
**Gaskets:** High temperature silicone.  
**Lens:** Tempered glass  
**Finish:** Formulated for high durability and long lasting color.  
**Green Technology:** Mercury and UV free, RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.  
**Other:** California Title 24: See WPLED52.BUL for a 2013 California Title 24 compliant product. Any additional component requirements will be listed in the Title 24 section under technical specifications on the product page.  
**Warranty:** RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish.  
**Patents:** The WPLED design is protected by patents in the U.S. Pat 8,053,377, Canada Pat. 142,032, China Pat. 21,091,133/555,933, and Mexico Pat. 3037-1 and pending patents in EU.

Need help? Tech help line: (855) RAB-1000 Email: sales@rabweb.com Website: www.rabweb.com  
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**RAB LIGHT DETAIL (WPLED52)**  
N.T.S.

**WPLED52**

**Technical Specifications (continued)**

**Other:** Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.  
**Optical:** BUG Rating: 80 U2 G3

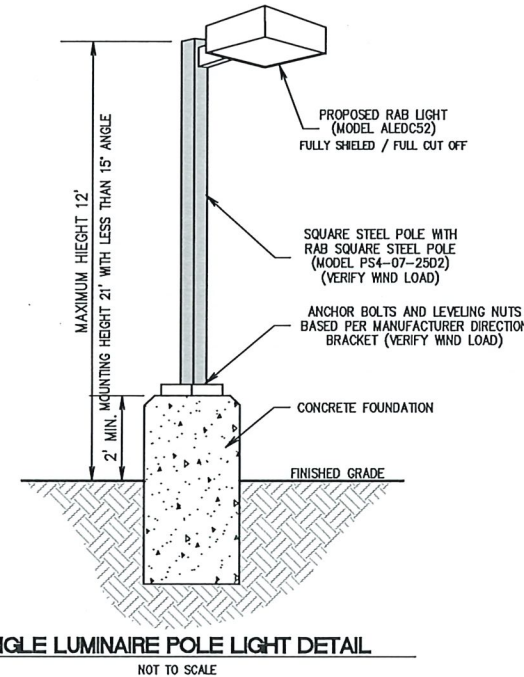
**Dimensions:** Features: High performance LED light engine, Maintains 70% of initial lumens at 100,000 hours, Waterproof high temperature silicone gaskets, Superior heat sinking with die cast aluminum housing and external fins, Replaces 250W MH, Traditional wallpack look from the front, 3 cutoff options, 5-year warranty.

**Ordering Matrix:**

Family	Cutoff	Wattage	Color Temp	Finish	Driver Options	Options
WPLED	Blank = Standard (15°)	52 = 52W	Blank = 5000K (Cool)	Blank = Bronze	Blank = 120-277V	Blank = No Option
	C = Cutoff (7.5°)	52 = 52W	N = 4000K (Neutral)	W = White	AB0 = 480V	/PCS = 120V Sidelight Photocell
	FC = Full Cutoff (0°)		Y = 3000K (Warm)		BL = BL-Level	/PCS2 = 277V Sidelight Photocell
					DI10 = 0-10V Dimming	/PCS4 = 450V Sidelight Photocell (A.G. = Light-to-go)

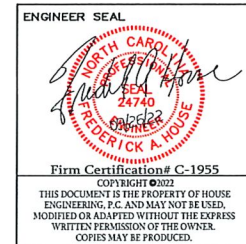
30341. Light fixtures shall be located on the site and designed, sited, or oriented in such a manner as to minimize light spill across property lines and prevent glare at any location on or off the property.  
30342. Except for fixtures which are permitted by this Article to be used for vertical illumination or for multi-purpose recreation facilities, all light fixtures shall be cut-off fixtures as defined in Appendix A - Definitions.  
30343. All wiring to light fixtures not located on a building shall be placed underground.  
30344. Principal buildings shall provide security lighting.  
30345. Light fixtures and supporting structures shall be designed and constructed to comply with state building code requirements.  
30346. No light fixture, including signs, shall exceed thirty-five (35) feet in height, except as specified in subsections 10.34.7 or 10.37.5.6. Where existing nonconforming light fixtures exist, including signs, such light fixtures and sign may be replaced provided there is no increase in the degree of nonconformity.

Need help? Tech help line: (855) RAB-1000 Email: sales@rabweb.com Website: www.rabweb.com  
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**SINGLE LUMINAIRE POLE LIGHT DETAIL**  
NOT TO SCALE

- LIGHTING NOTES**
- 1) REFER TO DADE COUNTY ZONING ORDINANCE, SECTION 22-60 OUTDOOR LIGHTING
  - 2) DOMINION POWER MAY PROVIDE SITE LIGHTING - OWNERS OPTION
  - 3) EXTERIOR LIGHTING SHALL BE FIXTURES WITH TRUE FULL CUT-OFF AND FULLY SHIELDED. BALL FIXTURES SHALL BE MOUNTED 15' ±
  - 4) EXTERIOR LIGHTING CONTROLLED BY A TIMER SYSTEM. FOR STANDARD TIME, LIGHTS SHALL BE SET TO TURN ON AT 5:00 PM AND OFF AT 7:00 AM. FOR DAYLIGHT SAVINGS TIME, LIGHTS SHALL BE SET TO TURN ON AT 7:00 PM AND TURN OFF AT 6:00 AM, UNLESS OTHERWISE SPECIFIED BY THE USER. DEMAND OR THE PROPERTY OWNER AND/OR TOWN OF KILL DEVIL HILLS. ALL WALL MOUNTED SITE LIGHTS TO BE PROVIDED WITH MANUAL OVERRIDES.
  - 5) LIGHT POLE FOUNDATION TO BE DESIGNED BY A STRUCTURAL ENGINEER. POLE MOUNTING DETAIL TO BE PROVIDED BY STRUCTURAL ENGINEER. LIGHT POLE BASE DETAIL SHOWN HEREIN IS FOR ELECTRIC & CONDUIT LAYOUT.
  - 6) ALL ARCHITECTURAL AND LANDSCAPE LIGHTING TO BE 40 WATTS OR LESS.
  - 7) LUMINARY CALCULATIONS BASED ON THE PROPOSED SITE LOCATION, LIGHT POLE HEIGHT AND FIXTURE AND USE APPROPRIATE. FOOTCANDLE READINGS AT THE PROPERTY LINES SHALL BE CERTIFIED BY A REGISTERED ENGINEER BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED FOR THE STRUCTURE.
  - 8) ILLUMINATION STANDARDS MUST BE MET PRIOR TO FINAL APPROVAL.
  - 9) IN NO INSTANCE SHALL ILLUMINATION LEVELS WITH IN THE SITE EXCEED 30 FOOT CANDLES
  - 10) ALL LIGHTING ILLUMINATION SHALL MEET INTERNATIONAL DARK SKY REQUIREMENTS
  - 11) ALL UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC AND BE A MINIMUM OF 1 INCH, UNLESS NOTED OTHERWISE.
  - 12) ALL ELECTRIC WIRING FOR POLE MOUNTED LIGHTS SHALL BE UNDERGROUND.
  - 13) CONTRACTOR TO PROVIDE PROTECTION FROM PHYSICAL DAMAGE FOR SWITCHBOARDS, PANEL BOARD AND OTHER ELECTRICAL EQUIPMENT (5' FROM EQUIPMENT)



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Post Office Box 466 - 6476 N. Croatan Hwy, Suite 201  
Kill Devil Hills, North Carolina 27849  
Office: (252) 261-8233 E-Mail: info@houseengineering.net

**Landscape and Lighting Detail Plan**  
For:  
**The Village at Old Wharf Road**  
Location:  
**0 West Martin Street**  
Parcel in Kill Devil Hills  
Kill Devil Hills Dare County North Carolina

APPROVALS	DATE
Drawn: D. NEFF	01/12/23
Checked: R. HOUSE	01/12/23
Engineer: R. HOUSE	01/12/23

No.	Date	Description

BZE	PROJECT NUMBER	REV	SHEET NO.
D	226800	-	C8 OF 8

CAD FILENAME: 226800 SCALE: 1" = 40'-0"



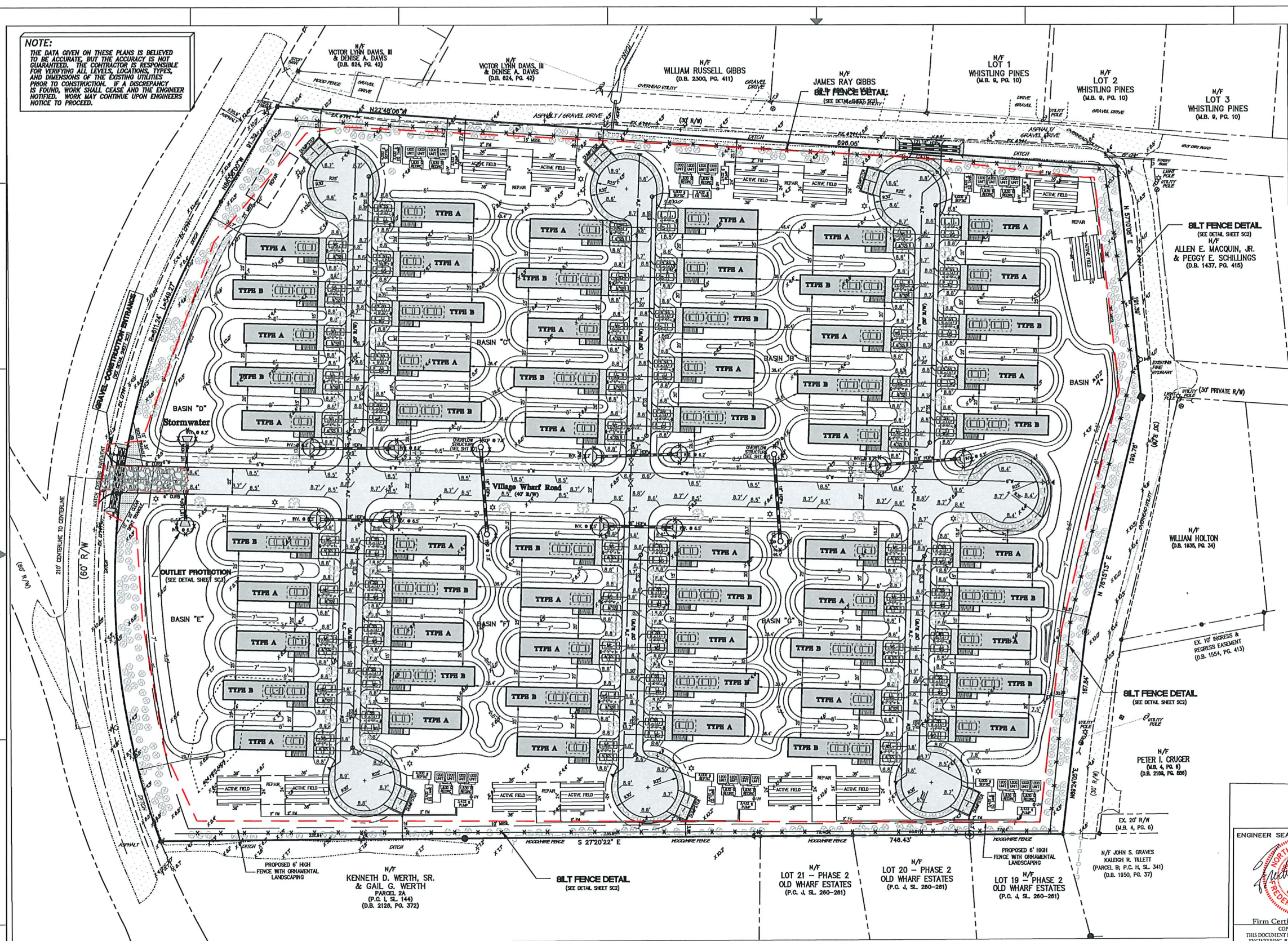
**NOTE:**  
 THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THE ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEER'S NOTICE TO PROCEED.

**LEGEND:**

- PROPOSED DWELLING AREA
- PROPOSED VEHICLE CIRCULATION AREA
- PROPOSED CONCRETE AREA
- EXISTING ROAD SURFACE
- PROPOSED DECK
- PROPOSED VEHICULAR CIRCULATION AREA
- PROPOSED GRAVEL SURFACE
- PROPOSED STONE BASE TURFSTONE
- PROPOSED CURB INLET / CATCH BASIN
- PROPOSED STORMWATER PIPE
- PROPOSED RUNOFF DIRECTIONAL ARROW
- PROPOSED FINISHED GRADE CONTOUR
- PROPOSED FINISHED SPOT GRADE
- EXISTING SPOT GRADE

**GENERAL NOTES:**

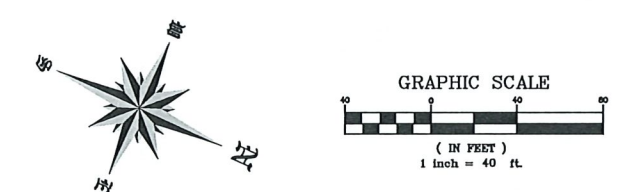
- \* SUBJECT PROPERTY: PARCEL ION WANCHESE WANCHESE NC 27981
- \* STREET ADDRESS: 0 Old Wharf Rd Wanchese, Nc 27981
- \* PARCEL ID NUMBER: 025921000
- \* GLOBAL PIN: 979706482784
- \* RECORDED REFERENCE: DB, 0245 PG, 0601
- \* TOTAL PARCEL AREA: 458,715 SQ. FT. (10.53 AC.)
- \* PROPOSED DEVELOPMENT: (36) 2 BEDROOM RESIDENTIAL COTTAGE DWELLINGS (24) 3 BEDROOM RESIDENTIAL COTTAGE DWELLINGS (60) TOTAL RESIDENTIAL COTTAGE DWELLINGS (Single-Family) WOOD FRAME STRUCTURE ON PILINGS WITH CONCRETE PARKING AREA UNDERNEATH
- \* LOT COVERAGE: BUILDING and DECKS - 72,600 SQ. FT. VEHICULAR SURFACE - 55,954 SQ. FT. CONCRETE SURFACE - 1,500 SQ. FT. TOTAL COVERAGE 130,054 SQ. FT. 28.35%
- \* PARKING DATA: 60 UNITS @ 1 SPACE PER BEDROOM = 144 SPACES TOTAL SPACES REQUIRED = 144 SPACES TOTAL SPACES PROVIDED = 204 SPACES
- \* PARCEL ZONING: VR (WANCHESE VILLAGE RESIDENTIAL)
- \* BOUNDARY AND TOPO INFORMATION TAKEN FROM SEABOARD SURVEYING
- \* ALL ROADS MUST REMAIN CLEAR DURING CONSTRUCTION FOR EMERGENCY VEHICLE ACCESS



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INSTALL CONTINUOUS TEMPORARY STORMWATER CONTROL MEASURES SURROUNDING THE BUILDING PAD AND FILL AREAS



**HOUSE ENGINEERING, P.C.**  
 Post Office Box 488 - 8475 N. Croatan Hwy, Suite 201  
 Kitty Hawk, North Carolina 27949  
 Office: (252) 261-8253 E-Mail: info@houseengineering.net

Firm Certification# C-1955  
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APPROVALS	DATE
Drawn: D. NEFF	01/12/23
Checked: R. HOUSE	01/12/23
Engineer: R. HOUSE	01/12/23

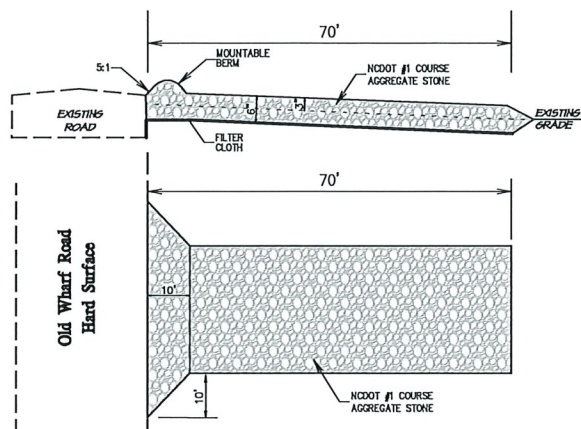
REVISIONS	
No.	Description

**Erosion and Sedimentation Control Plan**  
 For:  
**The Village at Old Wharf Road**  
 Location:  
**0 Old Wharf Road**  
 Parcel in Wanchese  
 Wanchese Dare County North Carolina

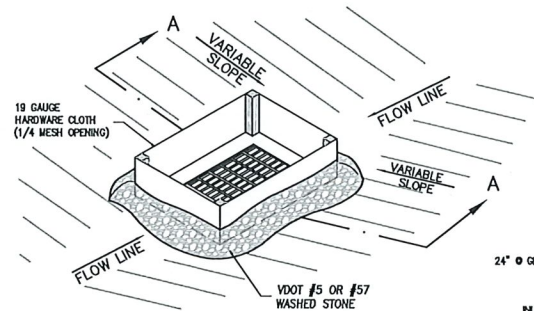
SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226800	-	SC1 OF 2

CAD FILENAME: 226800 SCALE: 1" = 40'-0"

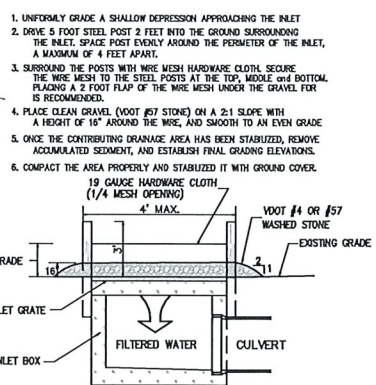




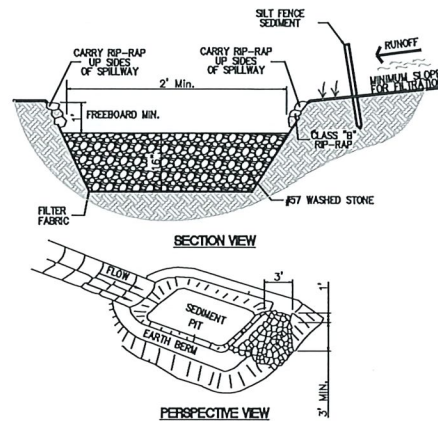
**PROPOSED GRAVEL CONSTRUCTION ENTRANCE**  
(IF EXISTING CONCRETE DRIVEWAY DEEMED UNUSABLE)  
N.T.S.



**SILT BARRIER FENCE FOR INLET PROTECTION**  
N.T.S.



**PRE DEVELOPMENT  
TEMPORARY SEDIMENT BASIN**  
N.T.S.



**Seeding Specifications**

**PERMANENT VEGETATION**

SEEDING DATES: APRIL 1 - SEPT 30

SEED MIXTURE	APPLICATION RATES/ACRE
BAMA	50 LBS.
COMMON BERMUDA (UNHULLED)	50 LBS.
GERMAN MILLETT	15 LBS.
FESCUE	20 LBS.

FERTILIZER  
26-13-13 @ 500 LB/ACRE

MULCH  
APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKLING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

BEACH GRASS  
SPRIG AT 6" O.C.

**TEMPORARY VEGETATION**

SEEDING DATES: OCT. 1 - MARCH 31

SEED MIXTURE	APPLICATION RATES/ACRE
RYE GRASS	175 LBS.

FERTILIZER  
10-10-10 @ 1000 LB/ACRE

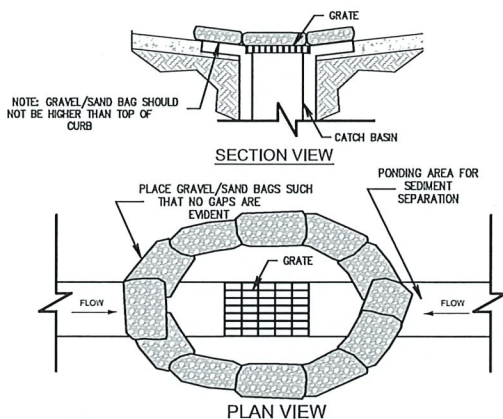
MULCH  
APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKLING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

GENERAL:  
- FERTILIZER RATES SHOWN ARE GENERAL RECOMMENDATIONS; FREQUENCY AND AMOUNT OF FERTILIZATION CAN BEST BE DETERMINED THROUGH SITE SPECIFIC SOIL TESTING.  
- SATISFACTORY STABILIZATION AND EROSION CONTROL REQUIRES A COMPLETE VEGETATIVE COVER EVEN SMALL BREACHES IN VEGETATIVE COVER CAN EXPAND RAPIDLY IF LEFT UNATTENDED. A SINGLE HEAVY RAIN IS OFTEN SUFFICIENT TO GREATLY ENLARGE BARE SPOTS, AND THE LONGER REPAIRS ARE DELAYED THE MORE COSTLY THEY BECOME. PROMPT ACTION WILL KEEP SEDIMENT LOSS AND REPAIR COST DOWN. NEW SEEDLINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF HILLS AND RUILLES DEVELOP THEY MUST BE FILLED, RE-SEED, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.  
- MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE.  
WEAK OR DAMAGED SPOTS MUST BE RELIQUED, FERTILIZED, MULCHED AND RE-SEED AS PROMPTLY AS POSSIBLE. RE-FERTILIZATION MAY BE NEEDED TO MAINTAIN PRODUCTIVE STANDS.  
ALL DISTURBED AREAS SHALL BE SEED AND MULCHED ACCORDING TO THE FOLLOWING SPECIFICATIONS:

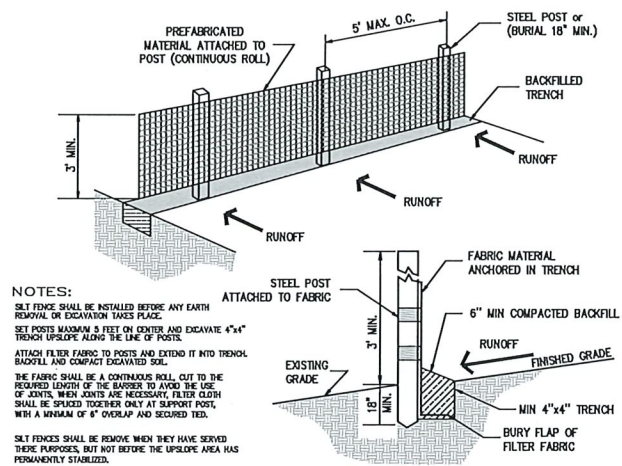
**SOIL EROSION + SEDIMENT**

**CONTROL PLAN NOTES:**

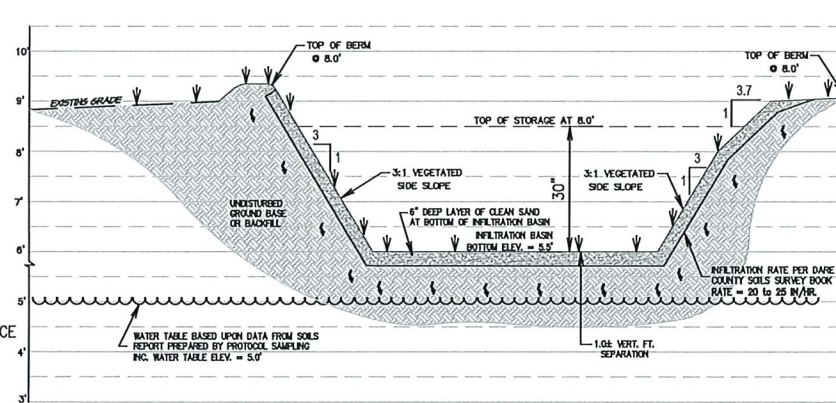
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- FLAG AND/OR ROUGH STAKE WORK LIMITS.
- HOLD PRECONSTRUCTION CONFERENCE (OWNER, CONTRACTOR, ENGINEER, AND APPROPRIATE GOVERNMENT OFFICIALS) AT LEAST ONE WEEK PRIOR TO START OF CONSTRUCTION ACTIVITIES.
- INSTALL SILT AND SAND FENCING @ LOCATIONS SHOWN ON PLAN
- COMPLETE CLEARING AND GRUBBING PROCEDURES.
- GRADE SITE ACCORDING TO PLAN
- ALL EROSION SEDIMENT CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER HEAVY RAINFALL EVENTS. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
- NO DEBRIS WILL BE BURIED ON THIS SITE.
- ALL EROSION AND SEDIMENT CONTROL, STORMWATER MANAGEMENT AND DRAINAGE DESIGN SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA SEDIMENT AND STORMWATER REGULATIONS AND WITH DARE COUNTY CODE
- EXISTING UTILITIES ARE IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE GOVERNING UTILITY COMPANIES (S) THREE DAYS PRIOR TO CONSTRUCTION IN ORDER TO VERIFY THE UTILITY LOCATIONS IN THE FIELD.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY AND ALL DAMAGES DONE TO THEM DUE TO HIS NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT HIS EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS, INSURANCE, BONDS, ETC. REQUIRED BY LOCAL, STATE AND/OR FEDERAL AGENCIES NECESSARY FOR CONSTRUCTION.
- PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- PROPOSED AREA TO BE DISTURBED IS (+/- 421,433 SQ FT 9.675 AC.)
- ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN THIRTY DAYS OF LAND DISTURBING ACTIVITIES. IF SAID ACTIVITIES OCCUR OUTSIDE THE PERMANENT VEGETATION SEEDING DATES (APR. 1 - SEPT.30) THEN TEMPORARY VEGETATION SEEDING SPECIFICATIONS SHALL BE FOLLOWED FOR PLANTING UNTIL THE NEXT APPROPRIATE PERMANENT SEEDING PERIOD. AT WHICH TIME PERMANENT VEGETATION SHALL BE ESTABLISHED ACCORDING TO PERMANENT VEGETATION SEEDING SPECIFICATIONS (SEE PERM. & TEMP. SEEDING SPEC'S THIS SHEET.)
- IF EXCESSIVE WIND EROSION OR STORMWATER RUNOFF EROSION DEVELOPS DURING CONSTRUCTION IN ANY LOCATION ON THE PROJECT, ADDITIONAL SAND OR SILT FENCING SHALL BE INSTALLED AS DIRECTED BY ENGINEER SO AS TO PREVENT DAMAGE TO ADJACENT PROPERTY. SEE SAND AND SILT FENCE DETAIL THIS SHEET.
- SOIL EROSION AND SEDIMENTATION CONTROLS TO BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY UNTIL PERMANENT CONTROLS ARE ESTABLISHED PER CONSTRUCTION SCHEDULE.



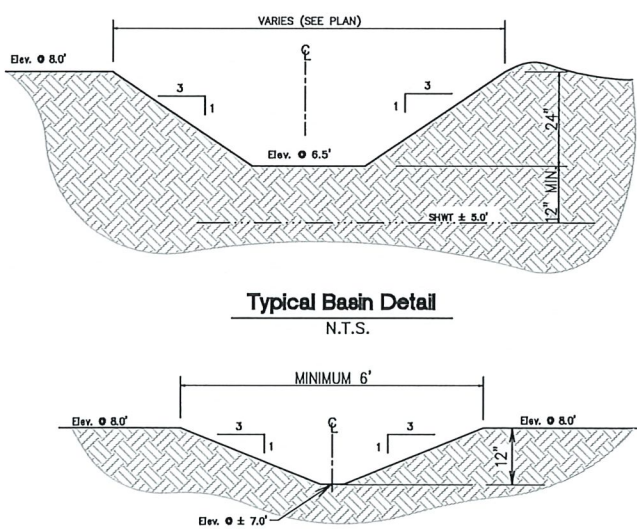
**TEMPORARY INLET PROTECTION**  
N.T.S.



**SILT FENCE DETAIL**  
N.T.S.

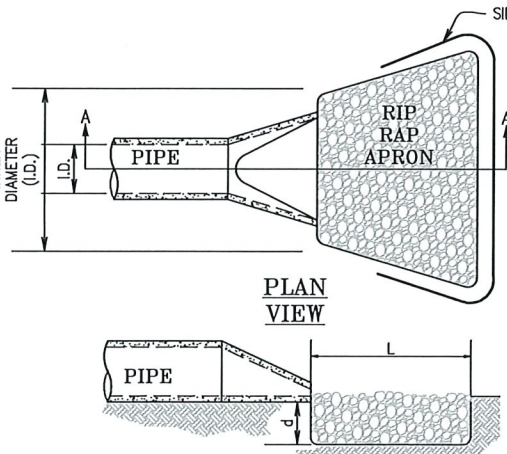


**SECTION 'A-A' -'A'  
'BMP' INFILTRATION BASIN**  
N.T.S.



**Typical Basin Detail**  
N.T.S.

**Overflow Diversion Grass Swale Detail**  
N.T.S.



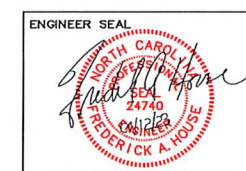
**PIPE OUTLET PROTECTION**

- L = LENGTH OF THE RIP-RAP APRON
- d = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 12 INCHES
- A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIP-RAP AND SOIL FOUNDATION.
- IN A WELL-DEFINED CHANNEL, EXTEND THE APRON UP THE CHANNEL BANKS TO 6 INCHES ABOVE THE MAXIMUM WATER DEPTH OR THE TOP OF THE BANK, WHICHEVER IS LESS.

**EROSION AND SEDIMENT CONTROL**

**MAINTENANCE NOTES**

- PERIODICALLY CHECK ALL GRADED AREAS AND THE SUPPORTING EROSION AND SEDIMENTATION CONTROL PRACTICES, ESPECIALLY AFTER HEAVY RAINFALLS. PROMPTLY REMOVE ALL SEDIMENT FROM DIVERSIONS AND OTHER WATER- DISPOSAL PRACTICES. IF WASHOUTS OR BREAKS OCCUR, REPAIR THEM IMMEDIATELY. PROMPT MAINTENANCE OF SMALL ERODED AREAS BEFORE THEY BECOME SIGNIFICANT GULLES IS AN ESSENTIAL PART OF AN EFFECTIVE EROSION AND SEDIMENTATION CONTROL PLAN.
- ALL EROSION AND SEDIMENT CONTROL MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION PHASE AND THE PROPERTY OWNER THEREAFTER.
- PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING; AND A PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION-CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 21 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.



**HOUSE ENGINEERING, P.C.**  
Post Office Box 486 6475 N. Croatan Hwy, Suite 201  
Kitty Hawk, North Carolina 27749  
Office# (252) 261-8253 E-Mail: info@houseengineering.net

**Erosion and Sedimentation Control Plan Details**

For:  
**The Village at Old Wharf Road**  
Location:  
**0 Old Wharf Road**  
Parcel in Wanchese

Wanchese	Dare County	North Carolina
SIZE	PROJECT NUMBER	REV
D	226800	-
CAD FILENAME: 226800	SCALE: AS NOTED	SHEET NO. SC2 OF 2

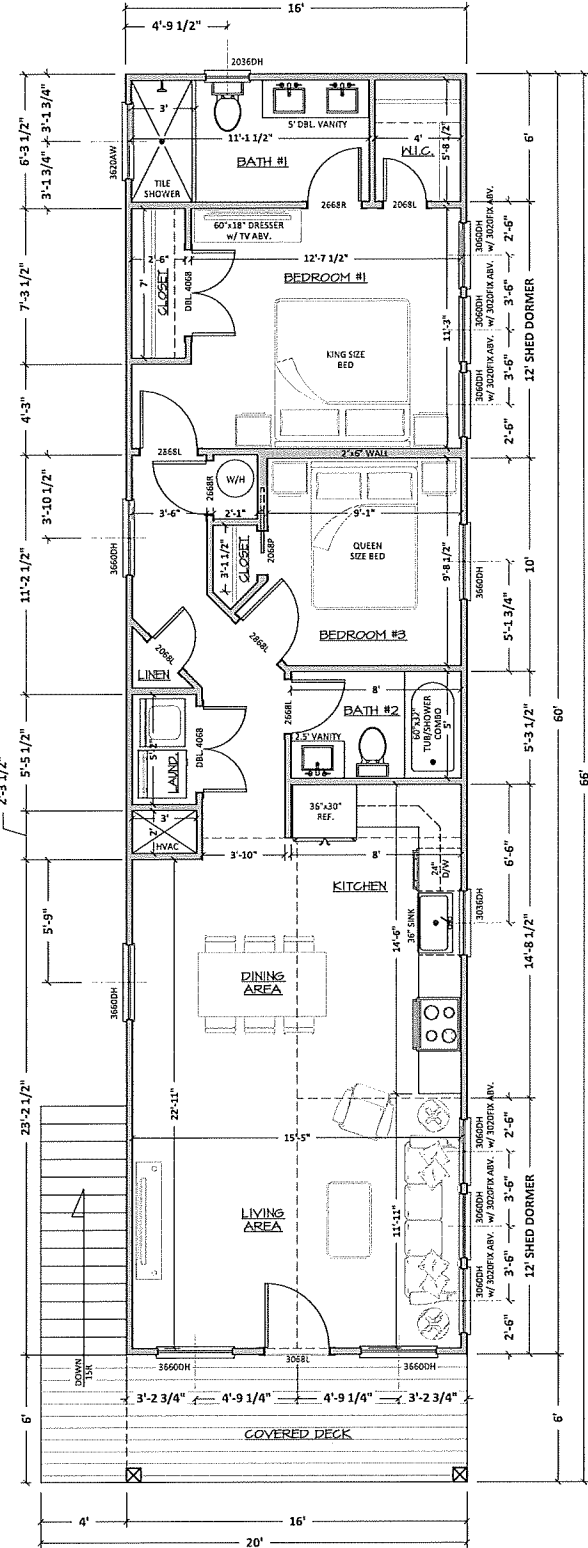
Firm Certification# C-1955  
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APPROVALS	DATE
Drawn: D. NEFF	01/12/23
Checked: R. HOUSE	01/12/23
Engineer: R. HOUSE	01/12/23

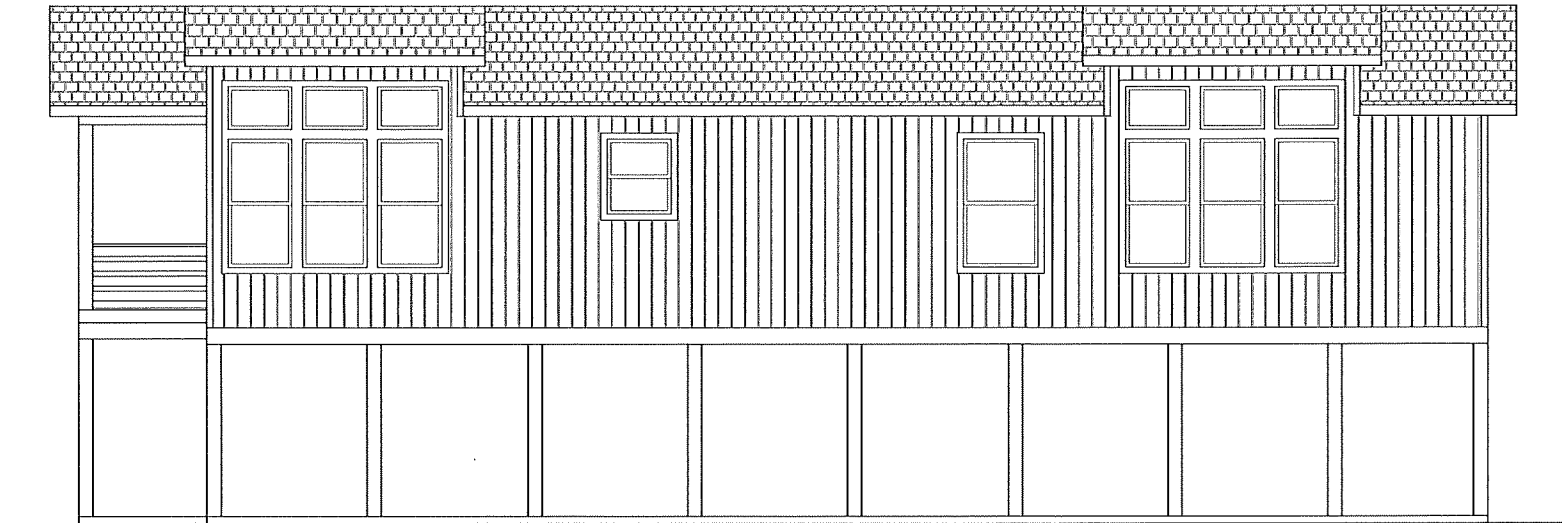
REVISIONS		
No.	Date	Description



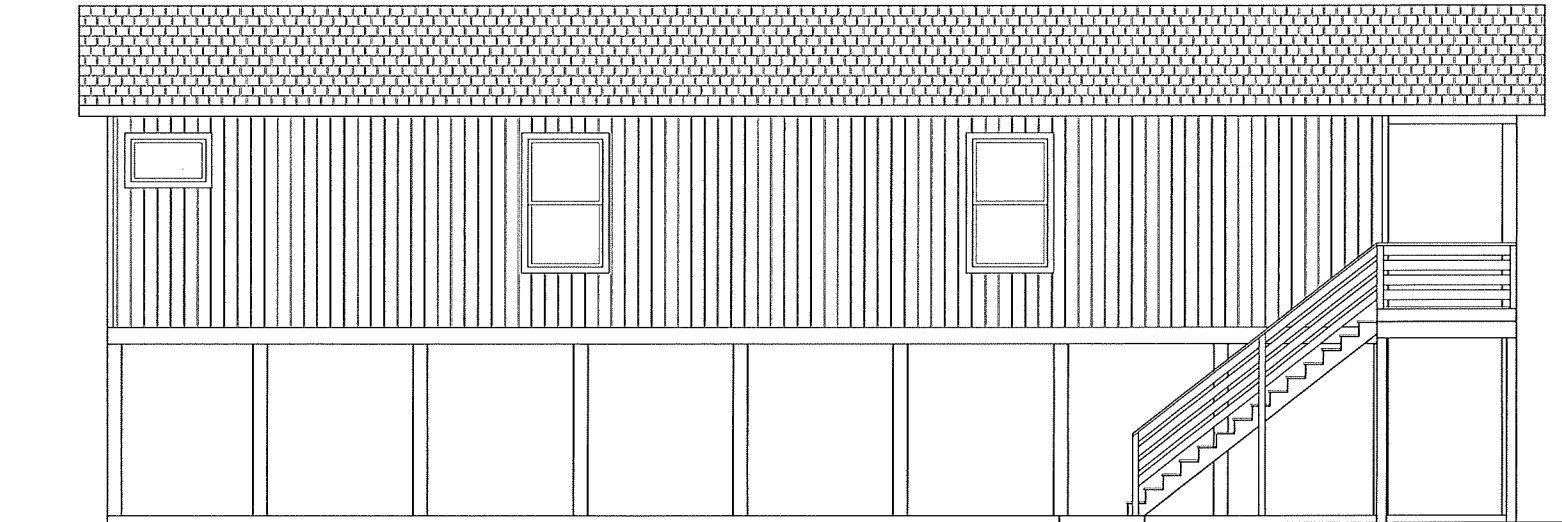


**FLOOR PLAN 1-A**  
SCALE: 1/4"=1'-0"

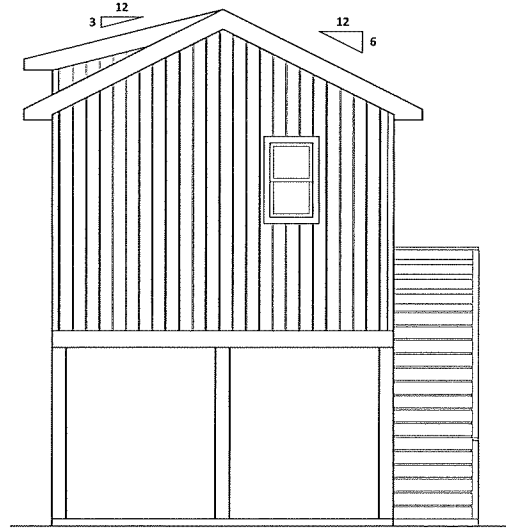
AREA SCHEDULE:	
TOTAL LIVING AREA:	960 S.F.
DECKS:	120 S.F.
BEDROOMS:	2
FULL BATHROOMS:	2



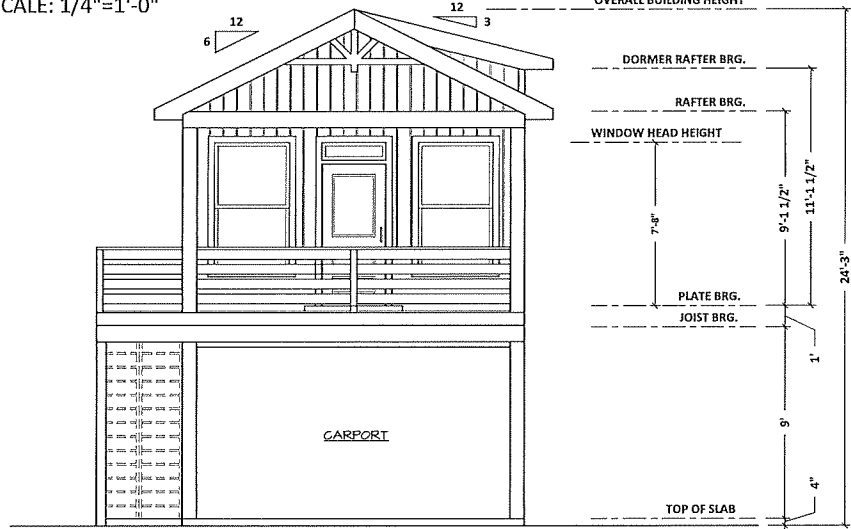
**RIGHT SIDE ELEVATION 1-B**  
SCALE: 1/4"=1'-0"



**LEFT SIDE ELEVATION 1-C**  
SCALE: 1/4"=1'-0"



**REAR ELEVATION 1-D**  
SCALE: 1/4"=1'-0"



**FRONT ELEVATION 1-E**  
SCALE: 1/4"=1'-0"

OVERALL BUILDING HEIGHT	
DORMER RAFTER BRG.	11'-1 1/2"
RAFTER BRG.	9'-1 1/2"
WINDOW HEAD HEIGHT	7'-8"
PLATE BRG.	1'
JOIST BRG.	9"
TOP OF SLAB	4"
<b>TOTAL HEIGHT</b>	<b>24'-3"</b>

**MORRIS DESIGN OBX**  
Barbara Morris  
Residential Home Designer  
Mobile: (252)-599-0690  
Email: morrisdesignobx@gmail.com

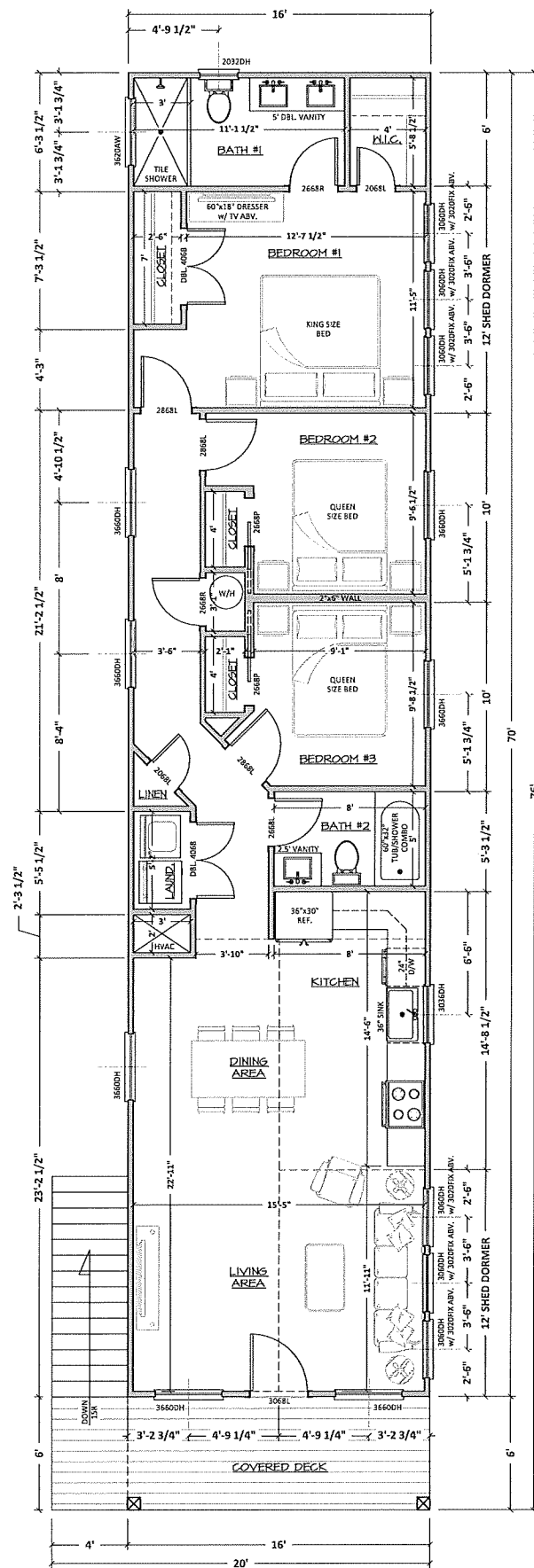
**The Village at Old Wharf Road**  
0 Old Wharf Rd, Wanchese, Dare County, NC  
**TYPE "A" DWELLING**

REVISIONS:		DATE:	DESCRIPTION:
NO.	DATE:		

DATE: 1/13/2023  
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DRAWN: B. MORRIS

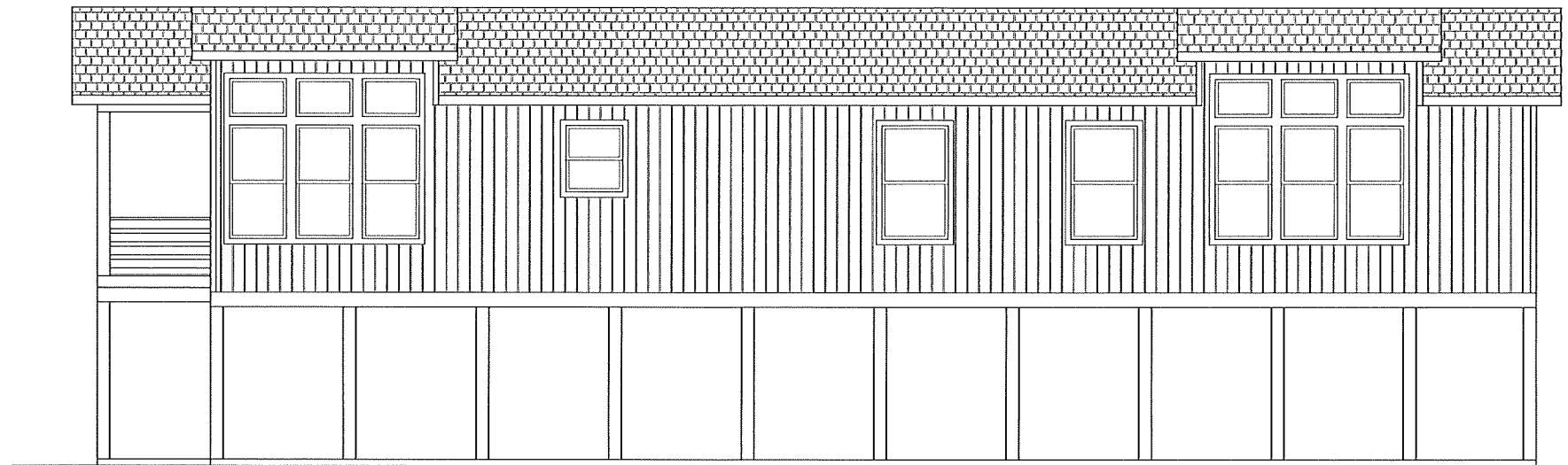
SHEET: **1 of 2**  
PROJECT NUMBER: **23229**



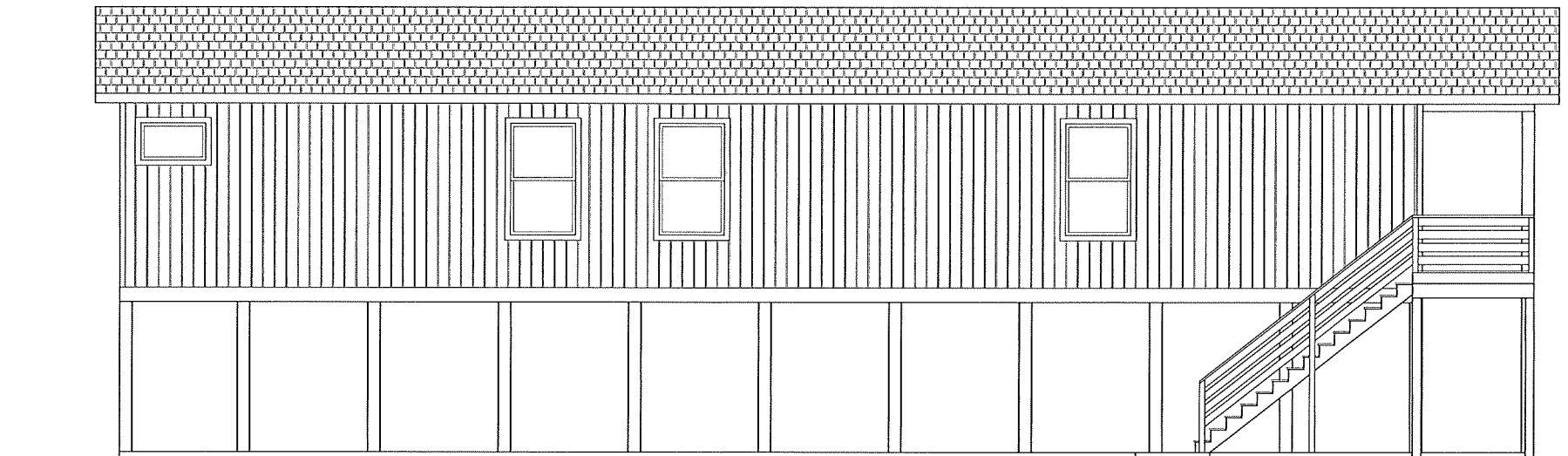


**FLOOR PLAN 2-A**  
SCALE: 1/4"=1'-0"

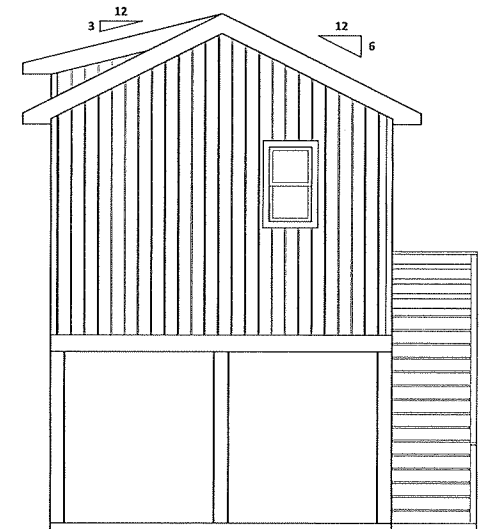
AREA SCHEDULE:	
TOTAL LIVING AREA:	1,120 S.F.
DECKS:	120 S.F.
BEDROOMS:	3
FULL BATHROOMS:	2



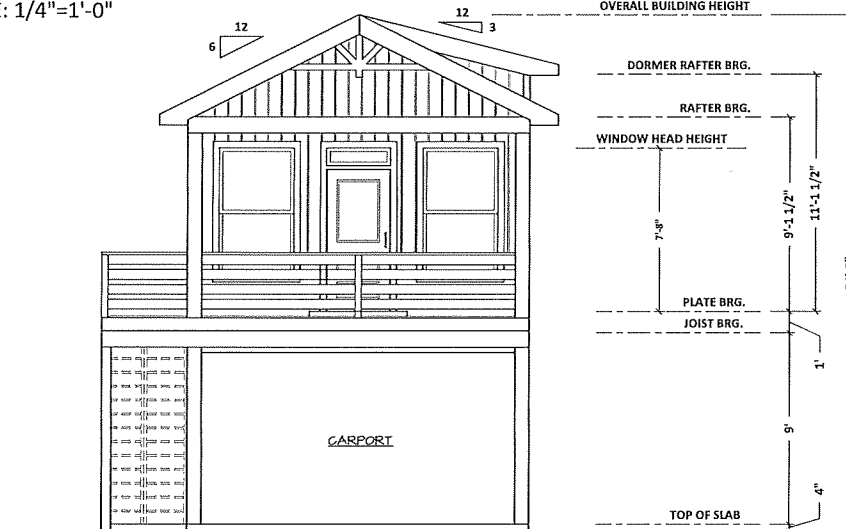
**RIGHT SIDE ELEVATION 2-B**  
SCALE: 1/4"=1'-0"



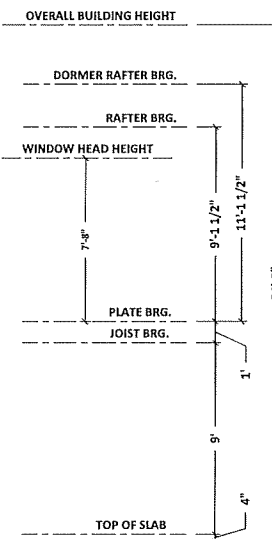
**LEFT SIDE ELEVATION 2-C**  
SCALE: 1/4"=1'-0"



**REAR ELEVATION 2-D**  
SCALE: 1/4"=1'-0"



**FRONT ELEVATION 2-E**  
SCALE: 1/4"=1'-0"



**MORRIS DESIGN OBX**

Barbara Morris  
Residential Home Designer  
Mobile: (252)-599-0650  
Email: morrisdesignobx@gmail.com

**The Village at Old Wharf Road**

0 Old Wharf Rd, Wanchese, Dare County, NC

**TYPE "B" DWELLING**

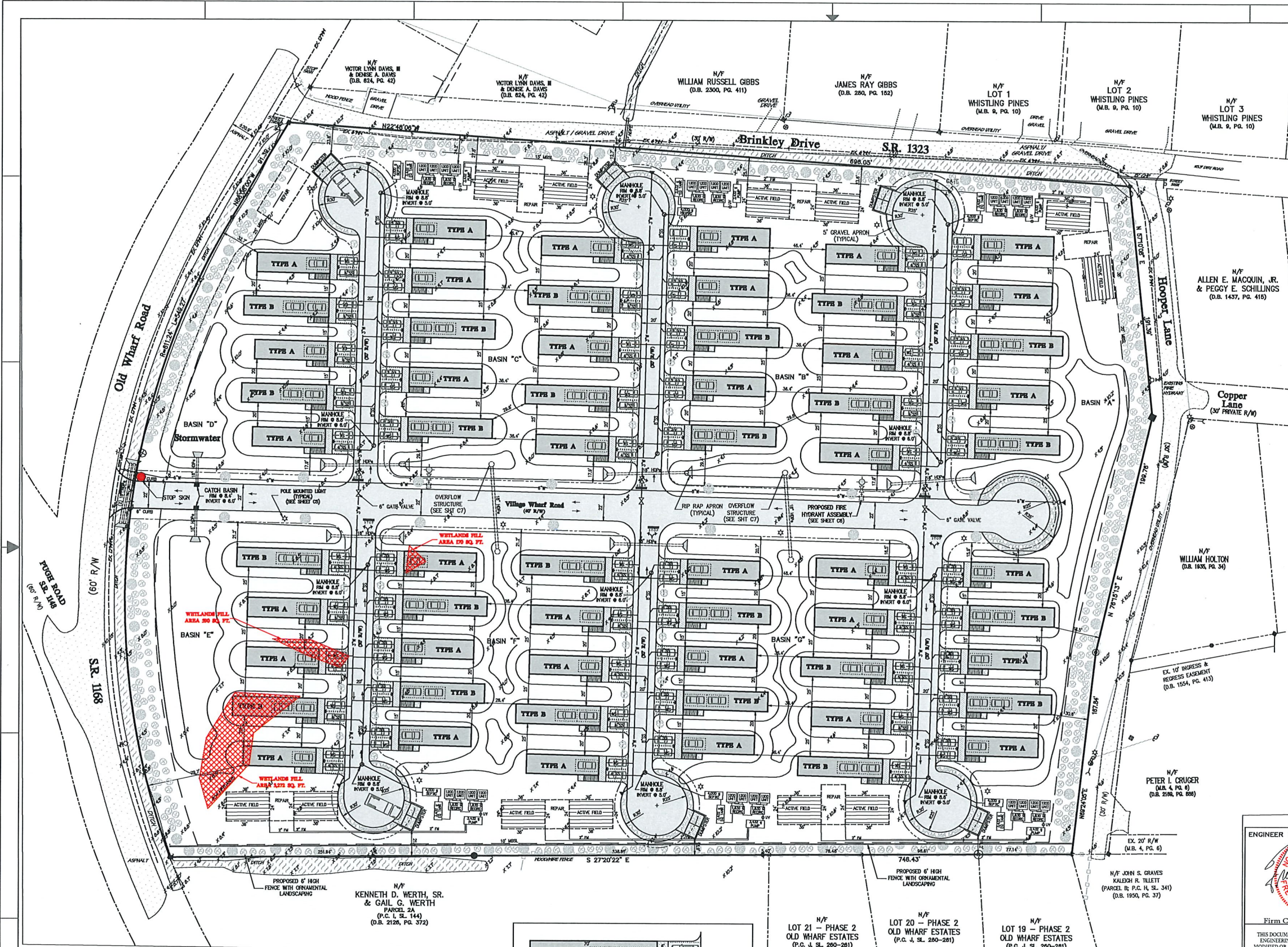
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NO.	DATE:		

DATE:	SCALE:
1/13/2023	1/4"=1'-0"
DRAWN:	B. MORRIS

SHEET: **2 of 2**

PROJECT NUMBER: **23229**





- GENERAL NOTES:**
- SUBJECT PROPERTY: PARCEL IN WANCHESE WANCHESE NC 27981
  - STREET ADDRESS: 0 Old Wharf Rd Wanchese, Nc 27981
  - PARCEL ID NUMBER: 025921000
  - GLOBAL PIN: 17 979706 48 2784
  - RECORDED REFERENCE: P.C. H, SL. 359; D.B. 245, PG. 801
  - TOTAL PARCEL AREA: 458,715 SQ. FT. (10.53 AC.)
  - PROPOSED DEVELOPMENT: (36) 2 BEDROOM RESIDENTIAL COTTAGE DWELLINGS (24) 3 BEDROOM RESIDENTIAL COTTAGE DWELLINGS (60) TOTAL RESIDENTIAL COTTAGE DWELLINGS (Single-Family) WOOD FRAME STRUCTURE ON PILINGS WITH CONCRETE PARKING AREA UNDERNEATH
  - LOT COVERAGE: BUILDING and DECKS - 72,600 SQ. FT. VEHICULAR SURFACE - 55,954 SQ. FT. CONCRETE SURFACE - 1,500 SQ. FT. TOTAL COVERAGE 130,054 SQ. FT. 28.35%
  - PARKING DATA: 60 UNITS @ 1 SPACE PER BEDROOM = 144 SPACES TOTAL SPACES REQUIRED = 144 SPACES TOTAL SPACES PROVIDED = 204 SPACES
  - ZONING: VR (WANCHESE VILLAGE RESIDENTIAL)
  - BOUNDARY AND INFORMATION TAKEN FROM SEABOARD SURVEYING
  - FLOOD ZONE "X" (R.F.P.E.: 8.0' MINIMUM)

- LEGEND:**
- PROPOSED DWELLING AREA
  - PROPOSED VEHICLE CIRCULATION AREA
  - PROPOSED CONCRETE AREA
  - EXISTING ROAD SURFACE
  - PROPOSED DECK
  - PROPOSED REINFORCED VEHICLE CIRCULATION AREA (6" 3,000 PSI CONCRETE)
  - PROPOSED GRAVEL SURFACE
  - PROPOSED PARKING SPACE (10'x20')
  - PROPOSED WATER SERVICE LINE (SIZED BY DARE COUNTY WATER)
  - PROPOSED WATER MAIN (SIZED BY DARE COUNTY WATER)
  - PROPOSED STORM PIPE
  - EXISTING WATERMAIN

ENGINEER SEAL

Firm Certification C-1955  
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 Kitty Hawk North Carolina 27949  
 Office: (252) 281-8253 E-Mail: info@houseengineering.net

APPROVALS		DATE
Drawn:	D. NEFF	01/12/23
Checked:	R. HOUSE	01/12/23
Engineer:	R. HOUSE	01/12/23

REVISIONS		
No.	Date	Description

**Wetlands Fill Map**

For:  
**The Village at Old Wharf Road**  
 Location:  
**0 Old Wharf Road**  
 Parcel in Wanchese  
 Wanchese Dare County North Carolina

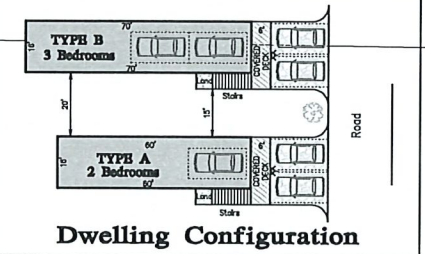
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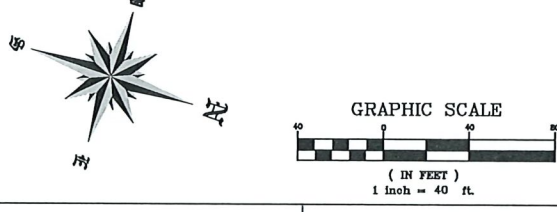
**BEFORE YOU DIG!**

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 WWW.nc811.ORG

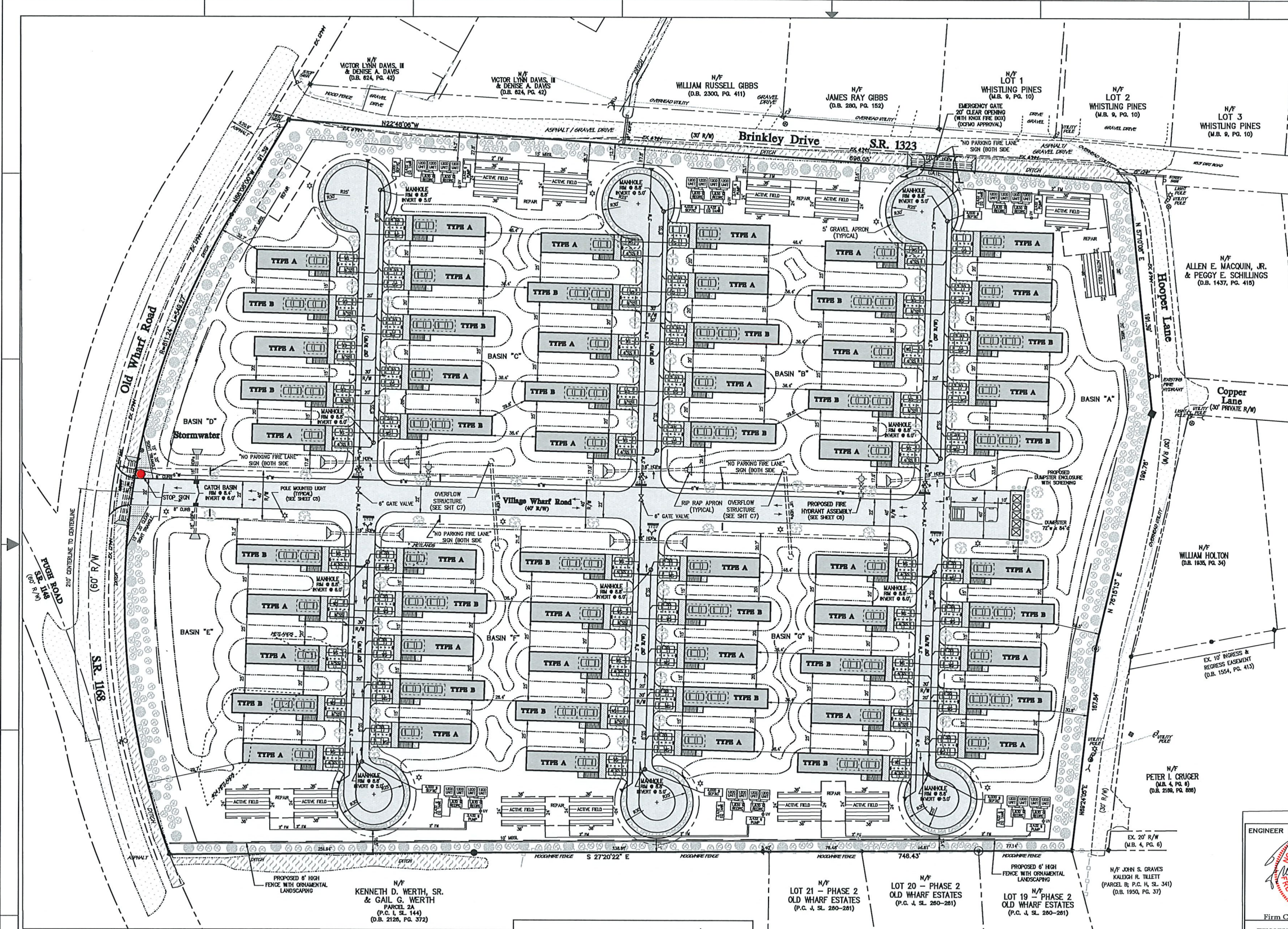
**NOTE:**  
 THE DATA GIVEN ON THESE PLANS IS BELIEVED TO BE ACCURATE, BUT THIS ACCURACY IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS, LOCATIONS, TYPES, AND DIMENSIONS OF THE EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND, WORK SHALL CEASE AND THE ENGINEER NOTIFIED. WORK MAY CONTINUE UPON ENGINEERS NOTICE TO PROCEED.



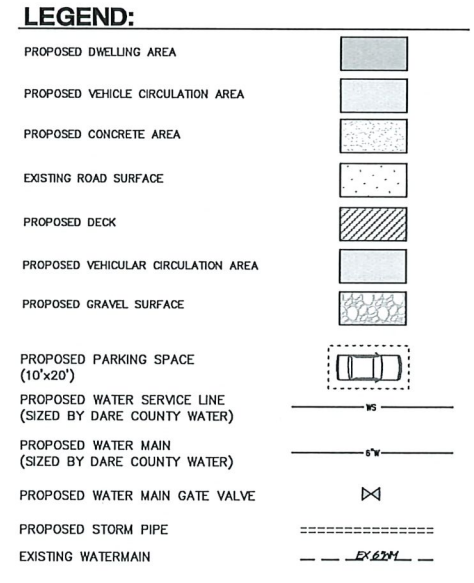
LOT 21 - PHASE 2 OLD WHARF ESTATES (P.C. 4, SL. 280-281)  
 LOT 20 - PHASE 2 OLD WHARF ESTATES (P.C. 4, SL. 280-281)  
 LOT 19 - PHASE 2 OLD WHARF ESTATES (P.C. 4, SL. 280-281)







- GENERAL NOTES:**
- SUBJECT PROPERTY: PARCEL IN WANCHESE James and Yvonne Doughty (Owners)
  - STREET ADDRESS: 0 Old Wharf Rd Wanchese, NC 27981
  - DEVELOPER: ARIA CONSTRUCTION AND DEVELOPMENT PO Box 321 Cresswell, NC 27928
  - PARCEL ID NUMBER: 025921000
  - GLOBAL PIN: 17 979706 48 2784
  - RECORDED REFERENCE: P.C. H, SL. 359; D.B. 245, PG. 801
  - TOTAL PARCEL AREA: 458,715 SQ. FT. (10.53 AC.)
  - PROPOSED DEVELOPMENT: (36) 2 BEDROOM RESIDENTIAL COTTAGE DWELLINGS (24) 3 BEDROOM RESIDENTIAL COTTAGE DWELLINGS (60) TOTAL RESIDENTIAL COTTAGE DWELLINGS (Single-Family) WOOD FRAME STRUCTURE ON PILINGS WITH CONCRETE PARKING AREA UNDERNEATH
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  - BOUNDARY AND TOPO INFORMATION TAKEN FROM SEABOARD SURVEYING
  - FLOOD ZONE "X" (R.F.P.E.: 8.0' MINIMUM)
  - ALL WATER LINES FOR THE FIRE HYDRANTS AND BASIC ROAD IMPROVEMENTS MUST BE INSTALLED AND APPROVED PRIOR TO THE COMMENCEMENT OF ANY HOME CONSTRUCTION
  - ALL ROADS SHALL BE CONSTRUCTED OF A MATERIAL TO HAVE AN ALL-WEATHER SURFACE CAPABLE OF CARRYING THE IMPOSED WEIGHT OF FIRE APPARATUS OF AT LEAST 75,000 POUNDS
  - NO PARKING WILL BE ALLOWED ON ANY STREET. "NO PARKING FIRE LANE" SIGNS MUST BE POSTED ACCORDING TO DCFMO GUIDELINES.



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**HOUSE ENGINEERING, P.C.**  
 Post Office Box 486 - 8475 N. Croatan Hwy, Suite 201  
 Kitty Hawk North Carolina 27949  
 Office# (252) 281-8253 E-Mail: info@houseengineering.net

**APPROVALS**

Drawn:	DATE
D. NEFF	01/20/23
Checked: R. HOUSE	01/20/23
Engineer: R. HOUSE	01/20/23

**REVISIONS**

No.	Date	Description

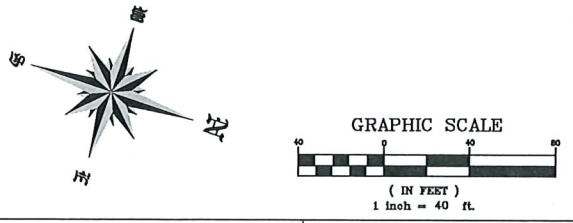
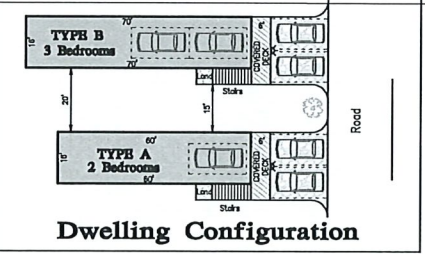
**Site and Utility Plan**  
 For:  
**The Village at Old Wharf Road**  
 Location:  
**0 Old Wharf Road**  
 Parcel in Wanchese  
 Wanchese Dare County North Carolina

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226800	-	C2

CAD FILENAME: 226800 SCALE: 1" = 40'-0"

**BEFORE YOU DIG!**  
 North Carolina 811  
 WWW.nc811.ORG

**NOTE:**  
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LOT 21 - PHASE 2 OLD WHARF ESTATES (P.C. J, SL. 280-281)  
 LOT 20 - PHASE 2 OLD WHARF ESTATES (P.C. J, SL. 280-281)  
 LOT 19 - PHASE 2 OLD WHARF ESTATES (P.C. J, SL. 280-281)

N/F KENNETH D. WERTH, SR. & GAIL G. WERTH PARCEL 2A (P.C. I, SL. 144) (D.B. 2126, PG. 372)

N/F JOHN S. GRAVES KALEIGH R. TILLET (PARCEL B; P.C. H, SL. 341) (D.B. 1950, PG. 37)

N/F PETER I. CRUGER (D.B. 4, PG. 6) (D.B. 2180, PG. 888)

EX. 10' INGRESS & REGRESS EASEMENT (D.B. 1554, PG. 413)

N/F WILLIAM HOLTON (D.B. 1835, PG. 34)

N/F ALLEN E. MACQUIN, JR. & PEGGY E. SCHILLINGS (D.B. 1437, PG. 416)

N/F LOT 3 WHISTLING PINES (M.B. 9, PG. 10)

N/F LOT 2 WHISTLING PINES (M.B. 9, PG. 10)

N/F LOT 1 WHISTLING PINES (M.B. 9, PG. 10)

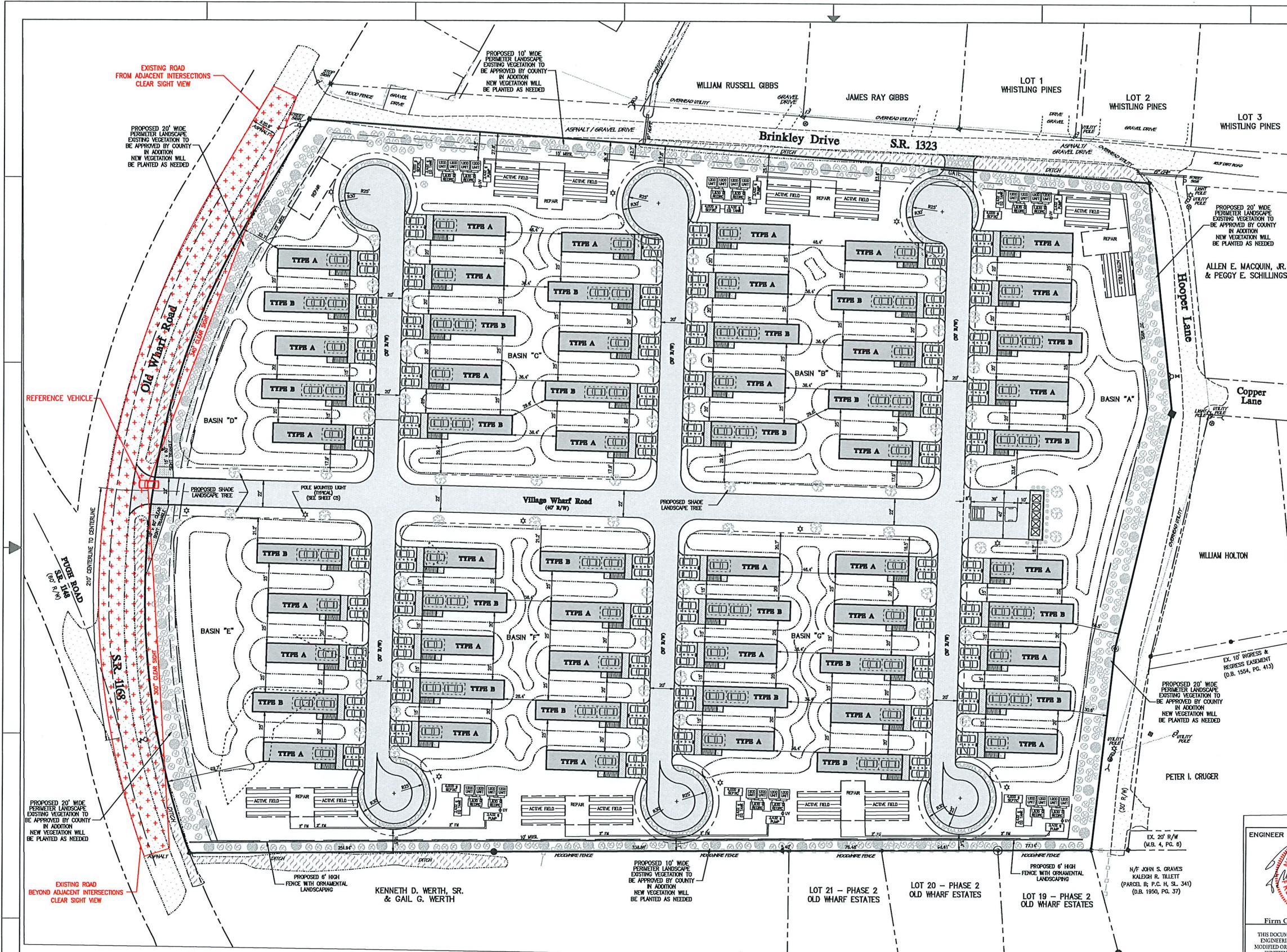
N/F JAMES RAY GIBBS (D.B. 280, PG. 152)

N/F WILLIAM RUSSELL GIBBS (D.B. 2300, PG. 411)

N/F VICTOR LYNN DAMS, II & DENISE A. DAVIS (D.B. 824, PG. 42)

N/F VICTOR LYNN DAMS, II & DENISE A. DAVIS (D.B. 824, PG. 42)





- LEGEND:**
- PROPOSED DWELLING AREA
  - PROPOSED VEHICLE CIRCULATION AREA
  - PROPOSED CONCRETE AREA
  - EXISTING ROAD SURFACE
  - PROPOSED DECK
  - PROPOSED VEHICULAR CIRCULATION AREA
  - PROPOSED GRAVEL SURFACE
  - PROPOSED STONE BASE TURFSTONE
  - PROPOSED CURB INLET / CATCH BASIN
  - PROPOSED STORMWATER PIPE
  - PROPOSED RUNOFF DIRECTIONAL ARROW
  - PROPOSED FINISHED GRADE CONTOUR
  - PROPOSED FINISHED SPOT GRADE
  - EXISTING SPOT GRADE

- GENERAL NOTES:**
- SUBJECT PROPERTY: PARCEL IN WANCHESE WANCHESE NC 27981
  - STREET ADDRESS: 0 Old Wharf Rd Wanchese, Nc 27981
  - PARCEL ID NUMBER: 025921000
  - GLOBAL PIN: 979706482784
  - RECORDED REFERENCE: P.C. H, SL. 359; D.B. 245, PG. 801
  - TOTAL PARCEL AREA: 458,715 SQ. FT. (10.53 AC.)
  - PROPOSED DEVELOPMENT: (36) 2 BEDROOM RESIDENTIAL COTTAGE DWELLINGS (24) 3 BEDROOM RESIDENTIAL COTTAGE DWELLINGS (60) TOTAL RESIDENTIAL COTTAGE DWELLINGS (Single-Family) WOOD FRAME STRUCTURE ON PILINGS WITH CONCRETE PARKING AREA UNDERNEATH
  - LOT COVERAGE: BUILDING and DECKS - 72,600 SQ. FT. VEHICULAR SURFACE - 55,954 SQ. FT. CONCRETE SURFACE - 1,500 SQ. FT. TOTAL COVERAGE 130,054 SQ. FT. 28.35%
  - PARKING DATA: 60 UNITS @ 1 SPACE PER BEDROOM = 144 SPACES TOTAL SPACES REQUIRED = 144 SPACES TOTAL SPACES PROVIDED = 204 SPACES
  - PARCEL ZONING: VR (WANCHESE VILLAGE RESIDENTIAL)
  - BOUNDARY AND TOPO INFORMATION TAKEN FROM SEABOARD SURVEYING

**LANDSCAPE LEGEND:**

COMMON NAME	Botanical Name	HEIGHT	SPREAD	SCIENTIFIC NAME	QUANTITY	SYMBOL
FLOWERING DOGWOODS		10' - 25'	20' - 30'	Cornus florida	63	
GRAPE MYRTLE		10' - 30'	6' - 15'	Loganstroemia indica	95	
JAPANESE PRIVET		6' - 12'	3' - 8'	Ligustrum japonicum	532	

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D. NEFF	01/20/23
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**REVISIONS**

No.	Date	Description

**Landscaping Plan**  
 For:  
**The Village at Old Wharf Road**  
 Location:  
**0 Old Wharf Road**  
 Parcel in Wanchese  
 Wanchese Dare County North Carolina

SIZE	PROJECT NUMBER	REV	SHEET NO.
D	226800	-	C4 OF 8

CAD FILENAME: 226800 SCALE: 1" = 40'-0"

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